

No.	Description	Date	By
1	SPA	19.02.01	TR
2	SPA_2	19.06.11	TR
3	#	#	#
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No.	Description	Date	By
	Issue / Revision Schedule		



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Client:
PARKVIEW SENIORS LODGE
 153/165 KING AVE., NEWCASTLE

Project:
PARKVIEW SENIORS EXPANSION

Drawing Title:
Landscape Layout & Materials

Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #: L 1.0
Approved By: GB	
Date: 19/01/17	

LANDSCAPE MATERIALS	LANDSCAPE STRUCTURES/FURNISHINGS	PLANT MATERIALS																																														
<table border="1"> <tr> <td>1</td> <td>Maintained Lawn Area Seeded, type 2 growing medium, min depth 150mm. Seed with a creeping red fescue @ a rate of 4-6lbs/1000sq ft. Recommended Supplier: Pickseed, Jasper II or approved equivalent.</td> <td>4</td> <td>Community Garden Bed Accessible raised timber planter, 3x1.5x0.75m (LxWxH).</td> <td>1</td> <td>Proposed Deciduous Trees- See plant list for additional details</td> </tr> <tr> <td>2</td> <td>Shrub and Tree Area Type 1 growing medium, min depth 450mm.</td> <td>5</td> <td>Bench (7 total) w Curb Stop 1800mm length Bench, Maglin MLB-300-MH or approved equivalent. Accessible seating curb stop to be installed as shown.</td> <td>1</td> <td>Proposed Coniferous Trees- See plant list for additional details</td> </tr> <tr> <td>3</td> <td>Tree Mulch Area Four-Season Mulch, min depth 300mm.</td> <td>10</td> <td>PLANT MATERIALS</td> <td>2</td> <td>Proposed Shrub/Perennial/Vine- See plant list for additional details</td> </tr> <tr> <td>4</td> <td>Cast in Place Concrete See civil dwg's for details</td> <td>ID DBH</td> <td>Existing Deciduous Trees to be removed</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td>Granite Paving Inlay Commemorative granite plaque set into CIP concrete walkway</td> <td>ID DBH</td> <td>Existing Coniferous Trees to be removed</td> <td></td> <td></td> </tr> </table>	1	Maintained Lawn Area Seeded, type 2 growing medium, min depth 150mm. Seed with a creeping red fescue @ a rate of 4-6lbs/1000sq ft. Recommended Supplier: Pickseed, Jasper II or approved equivalent.	4	Community Garden Bed Accessible raised timber planter, 3x1.5x0.75m (LxWxH).	1	Proposed Deciduous Trees- See plant list for additional details	2	Shrub and Tree Area Type 1 growing medium, min depth 450mm.	5	Bench (7 total) w Curb Stop 1800mm length Bench, Maglin MLB-300-MH or approved equivalent. Accessible seating curb stop to be installed as shown.	1	Proposed Coniferous Trees- See plant list for additional details	3	Tree Mulch Area Four-Season Mulch, min depth 300mm.	10	PLANT MATERIALS	2	Proposed Shrub/Perennial/Vine- See plant list for additional details	4	Cast in Place Concrete See civil dwg's for details	ID DBH	Existing Deciduous Trees to be removed			5	Granite Paving Inlay Commemorative granite plaque set into CIP concrete walkway	ID DBH	Existing Coniferous Trees to be removed			<table border="1"> <tr> <td>6</td> <td>Table and Chairs Tables (4) & Chairs (12)- Supplier: IKEA, Style Tunholm or approved equivalent.</td> <td>3</td> <td>Existing Coniferous Trees to be retained</td> </tr> <tr> <td>7</td> <td>Bike Rack (3 total) 7 Bicycle Surface Mount Rack, Maglin MBR300 Series Item# MBR300-7-S</td> <td>PRZ</td> <td>Existing Deciduous Trees to be retained</td> </tr> <tr> <td>8</td> <td>Wood Fence 1800mm height</td> <td>ID DBH</td> <td>Existing Deciduous Trees to be retained</td> </tr> <tr> <td>9</td> <td>Wood Screen 1800mm height</td> <td></td> <td></td> </tr> </table>	6	Table and Chairs Tables (4) & Chairs (12)- Supplier: IKEA, Style Tunholm or approved equivalent.	3	Existing Coniferous Trees to be retained	7	Bike Rack (3 total) 7 Bicycle Surface Mount Rack, Maglin MBR300 Series Item# MBR300-7-S	PRZ	Existing Deciduous Trees to be retained	8	Wood Fence 1800mm height	ID DBH	Existing Deciduous Trees to be retained	9	Wood Screen 1800mm height			<p>Municipal Road Occupancy "Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379."</p> <p>"A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th."</p> <p>"All restoration or work done in the road allowance must be completed as per municipal field staff direction."</p> <p>"The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory."</p>
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PROTECTION and PRESERVATION OF EXISTING VEGETATION
 All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they will be removed carefully and in accordance with accepted arboricultural practices.

Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

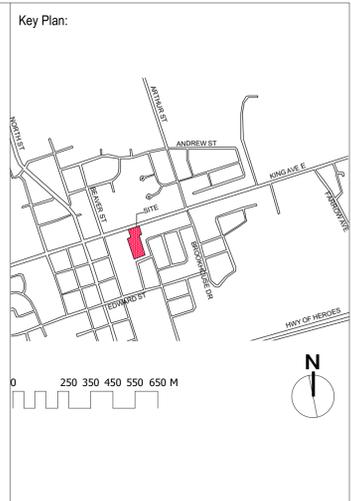
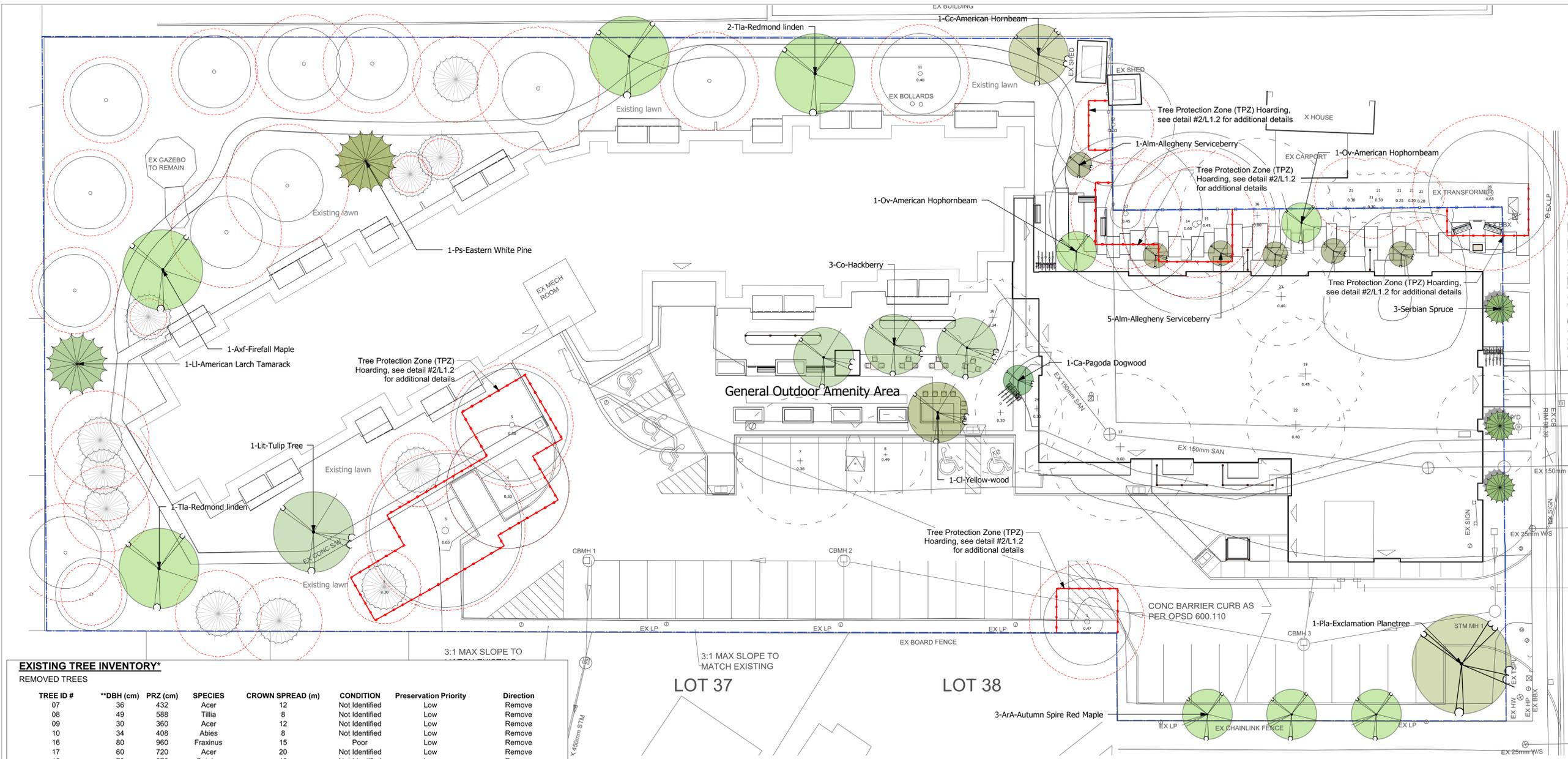
We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner:
 Name of Owner:
 Address:
 Date:
 I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect:
 Name of Landscape Architect: Gina Brouwer
 Date: February 01, 2019



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EXISTING TREE INVENTORY*

TREE ID #	**DBH (cm)	PRZ (cm)	SPECIES	CROWN SPREAD (m)	CONDITION	Preservation Priority	Direction
07	36	432	Acer	12	Not Identified	Low	Remove
08	49	588	Tilia	8	Not Identified	Low	Remove
09	30	360	Acer	12	Not Identified	Low	Remove
10	34	408	Abies	8	Not Identified	Low	Remove
16	80	960	Fraxinus	15	Poor	Low	Remove
17	60	720	Acer	20	Not Identified	Low	Remove
18	73	876	Catalpa	10	Not Identified	Low	Remove
19	45	540	Larix	10	Not Identified	Low	Remove
22	40	480	Not Identified	Not Identified	Not Identified	Low	Remove
23	40	480	Not Identified	Not Identified	Not Identified	Low	Remove
24	30	360	Not Identified	Not Identified	Not Identified	Low	Remove

TOTAL TREES TO BE REMOVED: 11

* Tree inventory is based on Cosburn Nauboris Ltd Tree Preservation and removal Plan (17-01-30) and IBW Surveyors Topographic Base Plan (19.01.04).
 **Diameter at Breast Height (DBH) refers to the diameter of the stem of a tree measured outside the bark at a point of 1.37m (4.5') above the highest point of the tree where the ground meets the trunk.

REPLACEMENT TREES

TREE SPECIES	CALIPER (cm)	QUANTITY
Picea omorika	250cm height	3
Platanus acerifolia	8	1
Cladrasitis lutea	6	1
Celtis occidentalis	6	3
Cornus alternifolia	200cm height	1
Ostrya virginiana	6	2
Carpinus caroliniana	6	1
Tilia americana	8	3
Larix laricina	250cm height	1
Liriodendron tulipifera	7	1
Pinus strobus	200cm height	1
Acer x freemanii	8	1
Amelanchier laevis	6	6

TOTAL REPLACEMENT TREES @ 2:1: 22
ADDITIONAL TREES TO BE PLANTED: 6
TOTAL NEW TREES: 28

TREES, REFER TO L1.2 FOR LOCATIONS

Code	Species	Quantity	Notes
Ov	American Hophornbeam	2	60mmCT/WB
Cc	American Hornbeam	1	60mmCT/WB
Li	American Larch Tamarack	1	250cm
Lit	Tulip Tree	1	70mmCT/WB
Ps	Eastern White Pine	1	200cm
Axf	Firefall Maple	1	80mmCT/WB
Co	Hackberry	3	60mmCT/WB
Cl	Yellow-wood	1	60mmCT/WB
Tla	Redmond linden	3	80mmCT/WB
Alm	Allegheny Serviceberry	6	60mmCT/WB
Pco	Serbian Spruce	3	250cm
Pla	Exclamation Planetree	1	80mm CT/WB
Ca	Pagoda Dogwood	1	200cm WB, Multiter
ArA	Autumn Spire Red Maple	3	45mmBB/CT

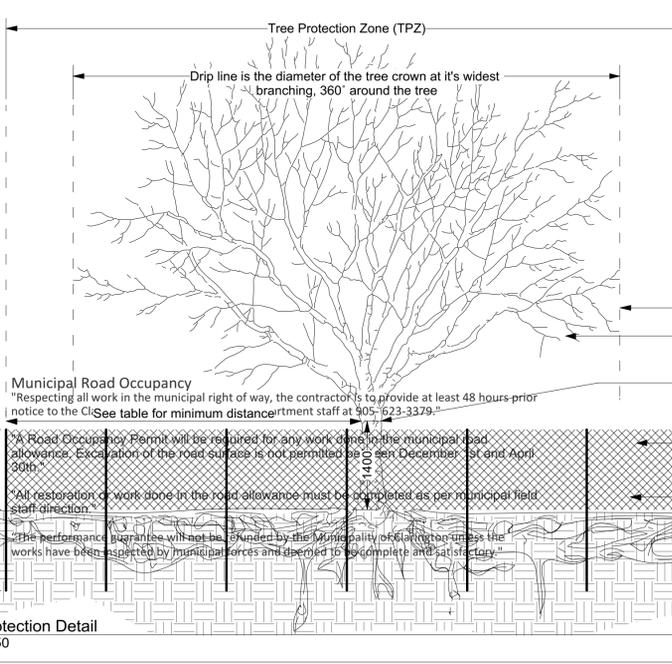


TABLE: TREE PROTECTION ZONES

Trunk Diameter (DBH)*	Minimum Protection Distance Required**
20-40 cm	2.4m
41-50 cm	3.0m
51-60cm	3.6m
61-70cm	4.2m
71-80cm	4.8m
81-90cm	5.4m
91-100+cm	6.0m

* "DBH" means diameter at breast height when measured at 1.4m above grade
 ** Tree Protection Zone (TPZ) distances are measured from the outside edge of the tree base

General Tree Protection Notes

- All dimensions shown in millimetres.
- This detail does not represent any particular tree species.
- No construction activity, grade changes, surface treatment, compaction, excavation or stockpiling of any kind is permitted within the protected area unless noted otherwise on the drawings and confirmed during pre-construction meeting.
- Maintain (Mow as required and when directed by contract administrator) existing vegetative cover within fenced area during construction.
- Tree protection to remain in place for duration of construction.
- Tree protection to be adjusted only when needed to complete those activities shown within TPZ. Upon completion tree protection shall be reinstated in consultation with the project arborist.
- No contaminants will be dumped or flushed where feeder roots of protected trees exist.
- No rigging cables will be wrapped around or installed in trees and/or protected areas.
- The developer and/or contractor will take every precaution necessary to prevent damage to trees, shrubs or other plants to be retained.
- Construction activities shown within the TPZ shall be conducted under the guidance and in consultation with an approved ISA Certified Arborist.

LEGEND

(ID DBH)	Existing Deciduous Trees to be removed	
(ID DBH)	Existing Coniferous Trees to be removed	
(PRZ)	Existing Coniferous Trees to be retained	(3) (L1.3)
(PRZ)	Existing Deciduous Trees to be retained	(3) (L1.3)
(ID DBH)	Proposed Deciduous Trees- See plant list for additional details	(1) (L1.3)
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Client: **PARKVIEW SENIORS LODGE**
 153/165 KING AVE., NEWCASTLE

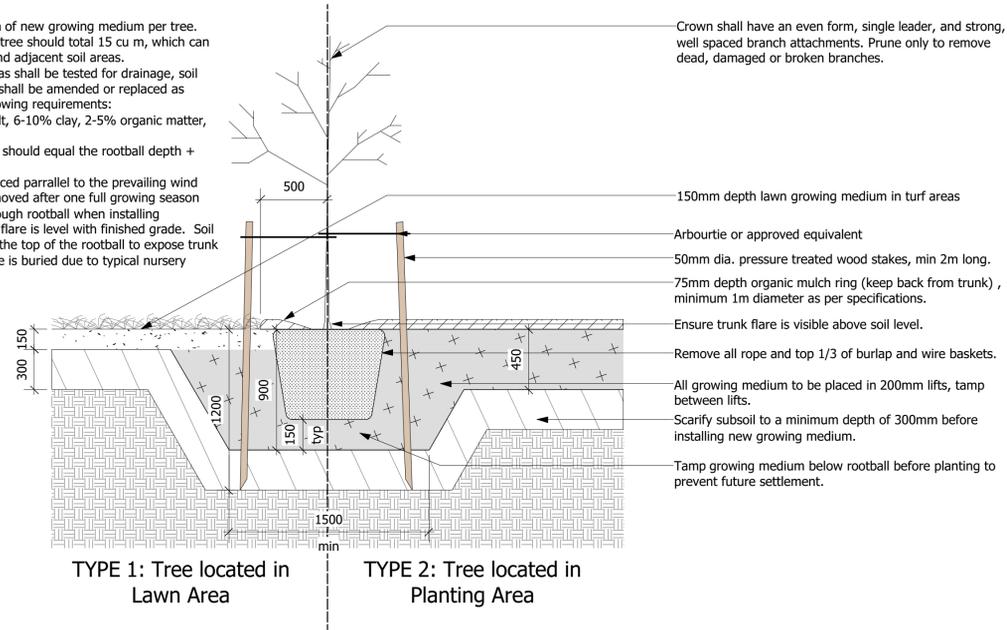
Project: **PARKVIEW SENIORS EXPANSION**

Drawing Title: **Tree Planting & Preservation Plan**

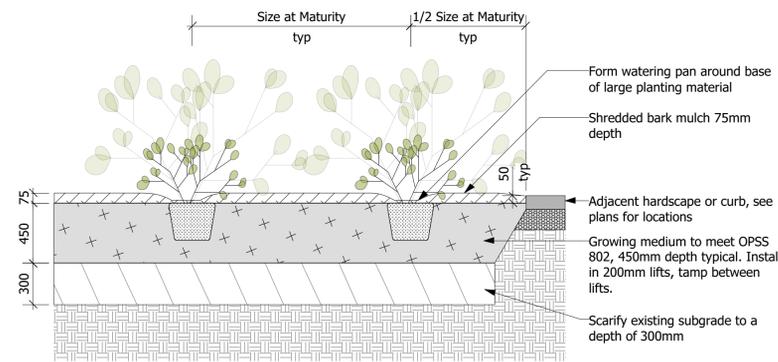
Designed By: TR | Project #: PC2018-0045
 Drawn By: TR | Approved By: GB
 Date: 19/01/17 | Drawing #: **L 1.2**

General Notes

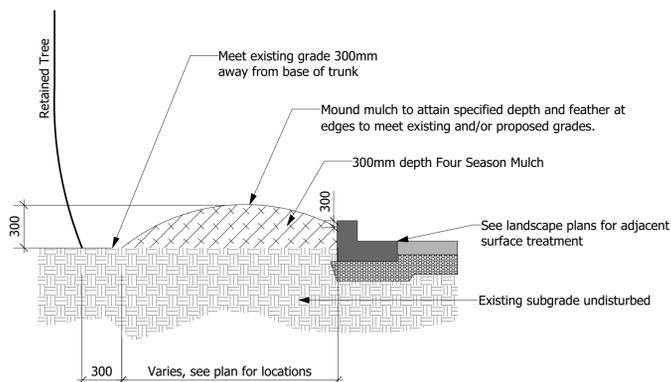
1. Install a minimum 5 cu m of new growing medium per tree. Available soil volume per tree should total 15 cu m, which can include shared, offsite, and adjacent soil areas.
2. All proposed planting areas shall be tested for drainage, soil quality and pH. Poor soil shall be amended or replaced as required to meet the following requirements: 50-60% sand, 20-40% silt, 6-10% clay, 2-5% organic matter, and pH between 6.5-7.5.
3. Max depth of planting pit should equal the rootball depth + 150mm
4. Tree stakes should be placed parallel to the prevailing wind
5. Wooden stakes to be removed after one full growing season
6. DO NOT drive stakes through rootball when installing
7. Set tree so base of trunk flare is level with finished grade. Soil should be removed from the top of the rootball to expose trunk flare (often the trunk flare is buried due to typical nursery practices)



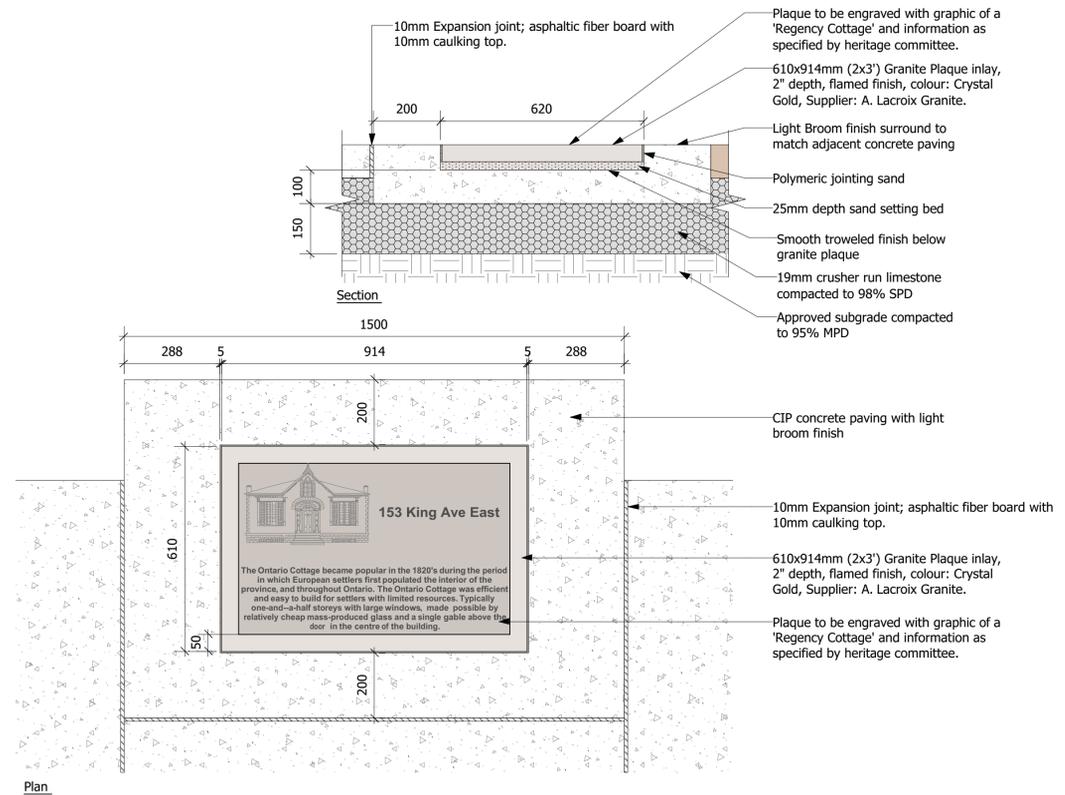
1 Tree Planting Detail
Scale: 1:25



2 Shrub Planting Detail
Scale: 1:25



3 Mulch Surfacing: Retained Tree(s)
Scale: 1:25



5 Commemorative Plaque Detail
Scale: 1:10

Municipal Road Occupancy

"Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379."

"A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th."

"All restoration or work done in the road allowance must be completed as per municipal field staff direction."

"The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory."

LANDSCAPE NOTES:

The Contractor shall review all existing conditions and utilities prior to commencement of work. Protect all existing plant material, structures and adjacent areas from damage. Layout shall be approved by the Contract Administrator prior to commencement of work.

TOPSOIL & SOD

All areas requiring sod shall first be neatly prepared for 150mm depth topsoil. This preparation depth must be verified by the Consulting Engineer prior to placement of any topsoil. After approval by the consultant, 150mm topsoil shall be placed and levelled. The consultant shall then complete a final inspection for topsoil grade and the removal of larger stones, branches or other improper material, prior to any sod being laid. Any topsoil or sod placed without prior verification and approval from the consultant shall be deemed unacceptable. Topsoil and sod shall meet the requirements of OPSS 802, 804 and 805, in addition to meeting any additional requirements set out in these specifications. Boulevards shall have 2% positive drainage toward the curb and shall be fully sodded, except for areas covered by driveway aprons or sidewalk.

All topsoil shall be free from native till or clay, roots, vegetation, weeds or debris, stones and clods over 50mm diameter. Imported topsoil, if required, shall be fertile, loamy, screened material of a quality acceptable to the Director (containing approx. 4% organic matter for clay loams and 2% organic matter for sandy loams with acidity range of 6.0 Ph). Topsoil infested by the seeds of noxious weeds will not be acceptable.

All sod shall meet the requirements of Ontario Sod Grower's Association No. 1 Bluegrass Fescue Nursery Sod. The sod shall be taken from good loamy soil and shall be healthy, well permeated with roots, have uniform texture and appearance and be free from weeds. Sod must be laid within thirty-six (36) hours of being cut. Care must be taken during its transportation and placement to prevent any drying out. Sod shall match flush with all adjacent surfaces and shall have no open gaps, overlapping edges or uneven joints. Where adjacent or fronting lands have already been sodded, care must be taken to ensure drainage is maintained and a smooth transition is achieved.

Laid sod shall be immediately rolled to produce an even surface and watering shall commence immediately thereafter and shall continue on a regular basis until healthy roots are well established and permanent. If sod fails to establish immediately, it shall be removed and replaced. No attempt shall be made to try to re-establish weak/dead sod through continual watering, unless specific permission is granted by the Director. The entire work shall be done in a thoroughly workmanlike manner with an even surface, and professional in appearance. Any sod deemed unfit by the Director shall be immediately removed from the site and replaced.

PLANTING

All plant material shall be nursery grown, true to type, conforming to the current edition of the Canadian Nursery Landscape Association's Canadian Standards for Nursery Stock. All plants shall be healthy and vigorous with all parts free from defects, decay, disfigurement, injury, disease and pests.

All trees shall have a reasonably straight trunk, free of any decay or wounds. Trees shall have a balanced canopy with a minimum of 12 branches. The branching height shall be a minimum of 1.8m from the root ball. Columnar trees shall possess one main trunk and no multiple competing stems. Branching shall be uniform and characteristic of the growing habit for the species. The root ball shall be a minimum of 750mm in diameter and shall have a depth of 2/3 the diameter. The root ball must be solid with little or no movement at the trunk and free of girdling roots.

- Prior to any trees arriving on site, an onsite meeting between the landscaper, contractor, Developer's Landscape Architect and Municipal Staff must be held to review planting locations and procedures. The Developer's landscaper shall ensure that trees are planted under ideal seasonal conditions and according to the following procedures:
- All tree pits shall be prepared in accordance with Clarington Tree Planting Detail C-508.
- Trees shall be placed so that the root flare is 50mm above the finished boulevard grade. Sub-grade levels will not be accepted. The ball or basket must be untied with the trunk free from choking ties. All trunk wrap must be removed after planting. The top 1/3 of the wire basket and burlap must be removed, (not bent down). The remainder of the basket must be clipped randomly throughout the remaining 2/3. Waste from these procedures shall be properly disposed of off site.
- The hole shall be backfilled halfway with a blended mix of topsoil. The hole shall be backfilled and compacted to remove all air pockets and to ensure the tree is stable without the installation of tree stakes.
- The tree planting pit surface and all planting beds shall be mulched with 75mm of shredded bark mulch. Wood chips will not be accepted. Mulch must not be placed against the trunk of the tree. A sample of mulch shall be submitted for approval.

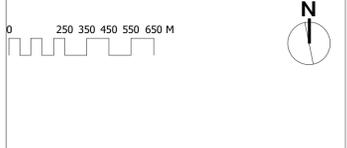
The Contract Administrator may reject any plant material, whether planted or not, that does not conform to the specifications. Substitutions for specified plants will not be accepted unless approved in writing by the Contract Administrator. Plant material shall be unwrapped prior to inspection with labels left on. The Contract Administrator shall inspect and provide written acceptance of installation.

The Municipality reserves the right to investigate, inspect and reject any substandard material, tree or procedure at any time during, or subsequent to, the planting process. Immediately following planting, each tree shall be inspected for damage. Damaged trees shall be replaced or treated in accordance with proper horticultural standards, as directed.

The Developer's landscaper shall implement an ongoing maintenance program of all trees and plant material and shall monitor their progress at 3 and 12 months. Any trees showing signs of distress shall be treated or replaced immediately, as directed. The Contractor shall maintain all plant material and assume full responsibility for protection of all planted areas until final acceptance of all project work at the end of the specified warranty period. The Contractor shall water plants as necessary with sufficient quantities to maintain healthy growth.

All plants that are dead, or not in healthy, satisfactory growing condition, or which in any way do not meet the specifications, shall be replaced within two weeks of notification at the Contractor's expense.

The Contractor shall remove all stakes and staking material at the end of the warranty period. The Contract Administrator shall inspect and provide final acceptance.



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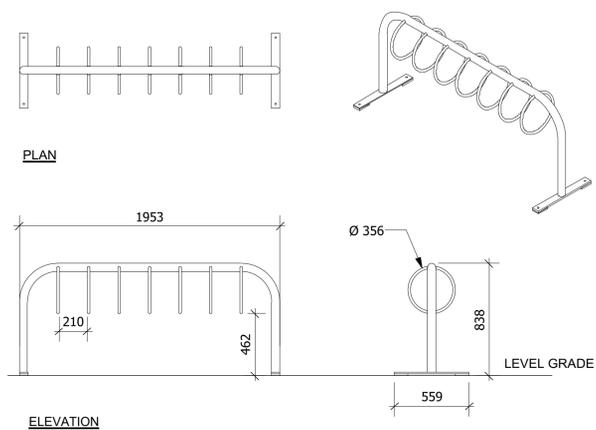
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Drawing Title:
Landscape Details

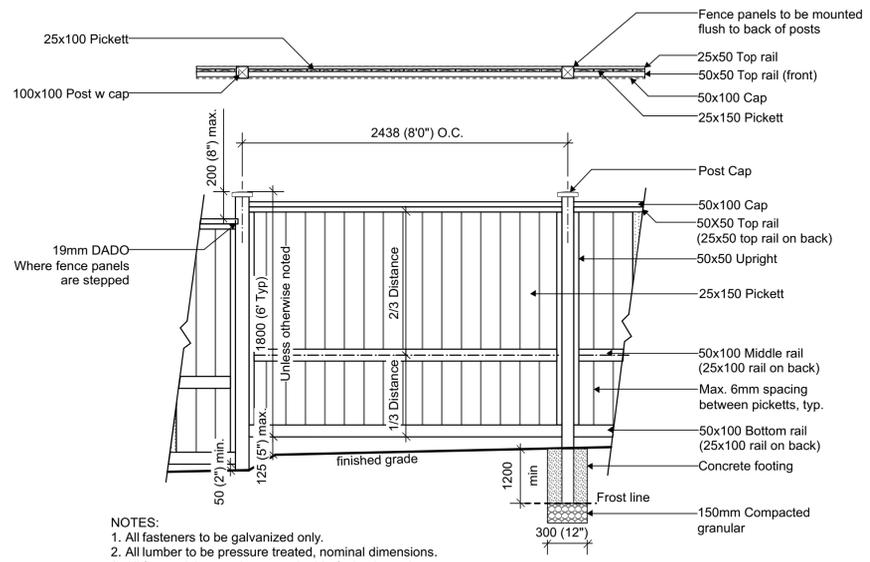
Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #:
Approved By: GB	L 1.3
Date: 19/01/17	



NOTES

- BIKE RACK MODEL MBR300-7-S BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
- GLOSS BLACK COLOUR TO ACCOMMODATE 7 BIKES
- SURFACE MOUNT ON HORIZONTALLY LEVEL CONCRETE PAD
- INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
- APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
- DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

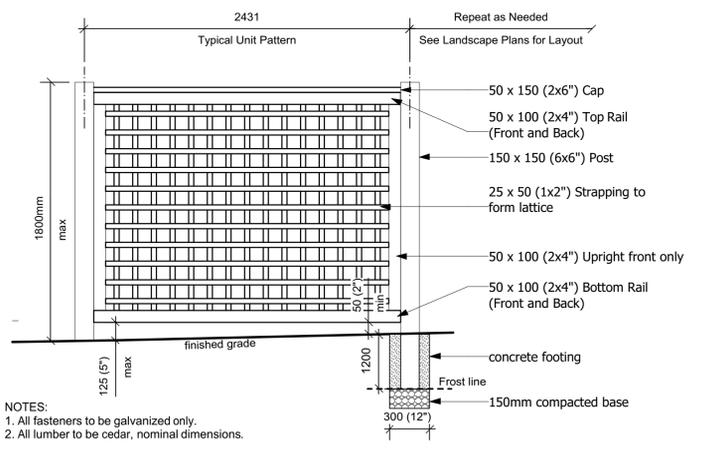
1 Bike Rack Detail
Scale: 1:25



NOTES:

1. All fasteners to be galvanized only.
2. All lumber to be pressure treated, nominal dimensions.
3. All fence pickets to have rough side facing inward.

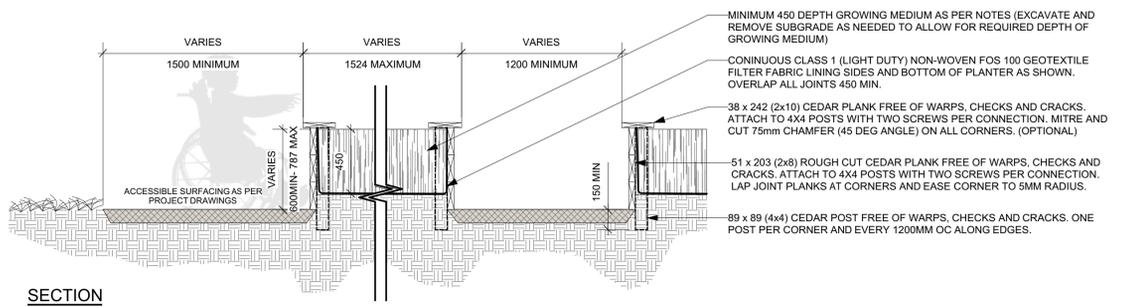
2 Fence Detail
Scale: 1:25



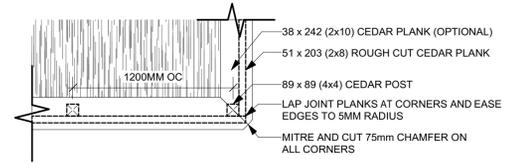
NOTES:

1. All fasteners to be galvanized only.
2. All lumber to be cedar, nominal dimensions.

3 Wood Screen
Scale: 1:25



SECTION

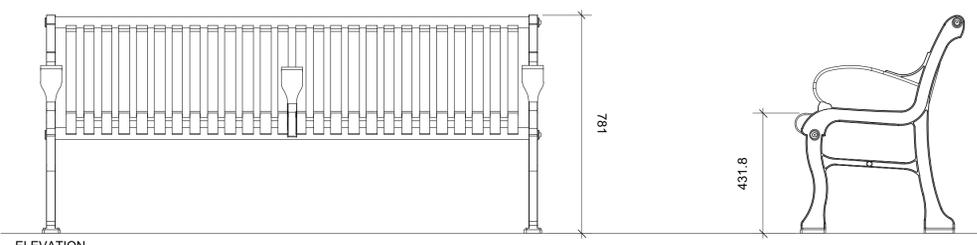


PLAN

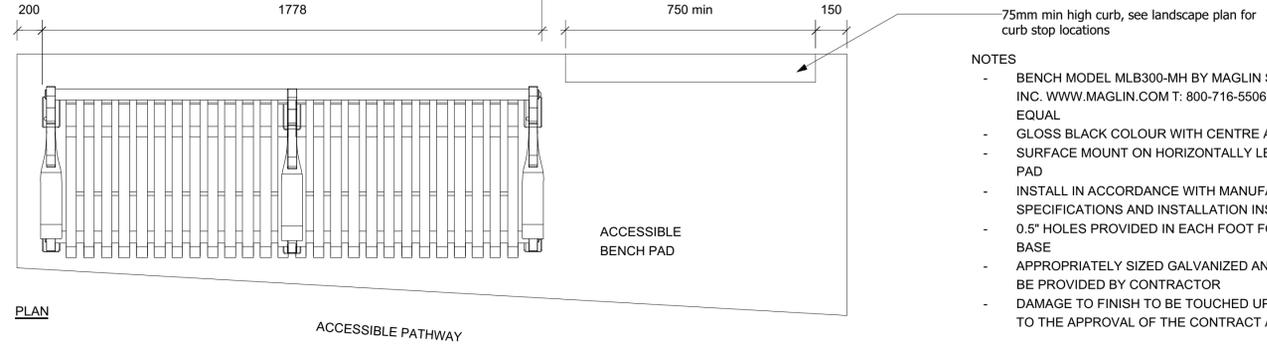
NOTES:

1. ALL DIMENSIONS ARE IN MILLIMETERS. DO NOT SCALE DRAWING.
2. SPECIFIED DEPTHS OF MULCH, TOPSOIL AND PLANTING MIX ARE DEPTHS AFTER SETTLEMENT. SPECIFIED DEPTH OF GRANULAR BASES IS COMPACTED DEPTH.
3. WHERE MORE THAN ONE PLANTER IS INSTALLED IN A LINEAR CONFIGURATION, USE A STRING LINE TO LAY OUT AND ALIGN (LINE UP) PLANTERS.
4. PLANTING MIX: APPROVED 3-WAY MIX, OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT. ADD 0.75 kg SUPERPHOSPHATE PER m3.
5. PLANTER CONSTRUCTION TO BE TO THE SATISFACTION OF THE LANDSCAPE ARCHITECT.

4 Raised Garden Bed
Scale: 1:25



ELEVATION



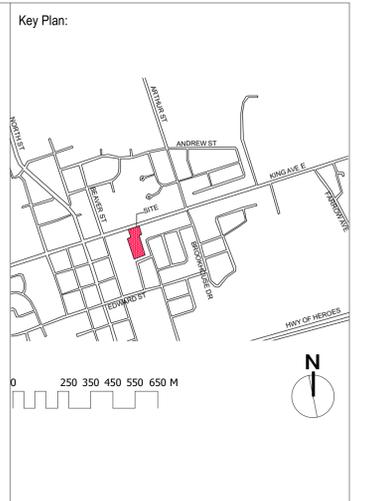
PLAN

75mm min high curb, see landscape plan for curb stop locations

NOTES

- BENCH MODEL MLB300-MH BY MAGLIN SITE FURNITURE INC. WWW.MAGLIN.COM T: 800-716-5506 OR APPROVED EQUAL
- GLOSS BLACK COLOUR WITH CENTRE ARM
- SURFACE MOUNT ON HORIZONTALLY LEVEL CONCRETE PAD
- INSTALL IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTALLATION INSTRUCTIONS
- 0.5" HOLES PROVIDED IN EACH FOOT FOR SECURING TO BASE
- APPROPRIATELY SIZED GALVANIZED ANCHOR BOLTS TO BE PROVIDED BY CONTRACTOR
- DAMAGE TO FINISH TO BE TOUCHED UP BY CONTRACTOR TO THE APPROVAL OF THE CONTRACT ADMINISTRATOR

5 Bench
Scale: 1:10



No.	Description	Date	By
1	SPA	19.02.01	TR
2	SPA_2	19.06.11	TR
3	#	#	#
4	#	#	#
5	#	#	#
6	#	#	#
7	#	#	#
8	#	#	#

No.	Description	Date	By
	Issue / Revision Schedule		



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Client:
PARKVIEW SENIORS LODGE
153/165 KING AVE., NEWCASTLE

Project:
PARKVIEW SENIORS EXPANSION

Drawing Title:
Landscape Details

Designed By: TR	Project #: PC2018-0045
Drawn By: TR	Drawing #: L 1.4
Approved By: GB	
Date: 19/01/17	

Municipal Road Occupancy
"Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to the Clarington Engineering Services Department staff at 905-623-3379."
"A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30th."
"All restoration or work done in the road allowance must be completed as per municipal field staff direction."
"The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory."