

GENERAL NOTE

- 1. CONTRACTOR IS RESPONSIBLE FOR CONTACTING PUBLIC UTILITIES WITH REGARD TO LOCATION OF SERVICES PRIOR TO COMMENCING WORK. OBTAIN AND PAY FOR ALL DEMOLITION PERMITS. COORDINATE THE DEMOLITION WORK WITH ALL DISCIPLINES AND SUBCONTRACTORS IN ORDER TO MINIMIZE DISRUPTION TO THE ON GOING BUSINESSES. INFORM DEALER PRIOR TO TERMINATION OR CHANGE OVER OF SERVICES. IN THE EVENT OF TERMINATION OF FIRE PROTECTION SERVICES, CONTACT LOCAL FIRE DEPARTMENT FOR STANDBY SERVICE. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE SITE AND WITH ALL DRAWINGS. NO EXTRA WILL BE ALLOWED FOR ERRORS OR OMISSIONS IN THIS REGARD.
- 2. WHERE EXISTING STRUCTURAL STEEL BUILDING ELEMENTS (BEAMS, COLUMNS, JOISTS, CHANNELS, BRACKETS, LIGHTNING STEEL FRAMING, REBAR, ETC.) ARE TO BE REMOVED, CONTRACTOR IS TO INCLUDE FOR THE FOLLOWING REMOVAL ITEMS ALSO: UNISED STIFFENER BRACKETS AND PLATES, CLIP ANGLES, SUPPORT CHANNELS AND ANGLES, WALL PLATES AND BRACKETS, NUTLOOMS, BRACES, BRACKETS, BOLTS, SHIMS, REBAR, GRINDING, ETC. THESE ADDITIONAL REMOVAL ITEMS MAY BE OMITTED FROM THIS SCOPE OF WORK, IF AND ONLY IF THEIR REMAINING WILL NOT INTERFERE WITH THE ABILITY OF ALL SUBSEQUENT TRADES TO COMPLETE THEIR WORK AS THEY INTENDED. SHOULD THESE ITEMS BE REQUIRED BY OTHER TRADES TO BE REMOVED AT A LATER DATE THIS TRADE WILL MAKE SUCH REMOVALS AT NO EXTRA COST.
- 3. WHEREVER NEW CONSTRUCTION ADJUTS EXISTING CONDITIONS THAT ARE TO REMAIN, CONTRACTOR IS RESPONSIBLE TO REPAIR ALL DAMAGE TO ORIGINAL CONDITION. ALL LIMITS TO RESTORATIONS MUST BE REPORTED TO AND APPROVED BY ARCHITECT PRIOR TO ANY WORK COMMENCING.
- 4. CONTRACTOR IS EXPECTED TO VISIT SITE DURING TENDER PERIOD TO CONFIRM THAT NO CONFLICT WITH NEW CONSTRUCTION SHOWN EXISTS. ALL CONFLICTS ARE TO BE REPORTED TO ARCHITECT 5 WORKING DAYS PRIOR TO TENDER CLOSING. NO EXTRAS WILL BE PAID FOR FAILURE TO THOROUGHLY INVESTIGATE ALL CONDITIONS ON SITE.
- 5. CEILING TILES ARE TO BE INSPECTED FOR A.C.M. (ASBESTOS CONTAINING MATERIALS) AND REMOVAL/DISPOSAL OF THESE MATERIALS MUST BE DONE IN ACCORDANCE WITH ALL CODES AND REGULATIONS.
- 6. REMOVE/DISPOSE A.C.M. (ASBESTOS CONTAINING MATERIAL) FROM BENEATH PENTHOUSE FLOOR STRUCTURE IN ACCORDANCE WITH ALL CODES AND REGULATIONS.

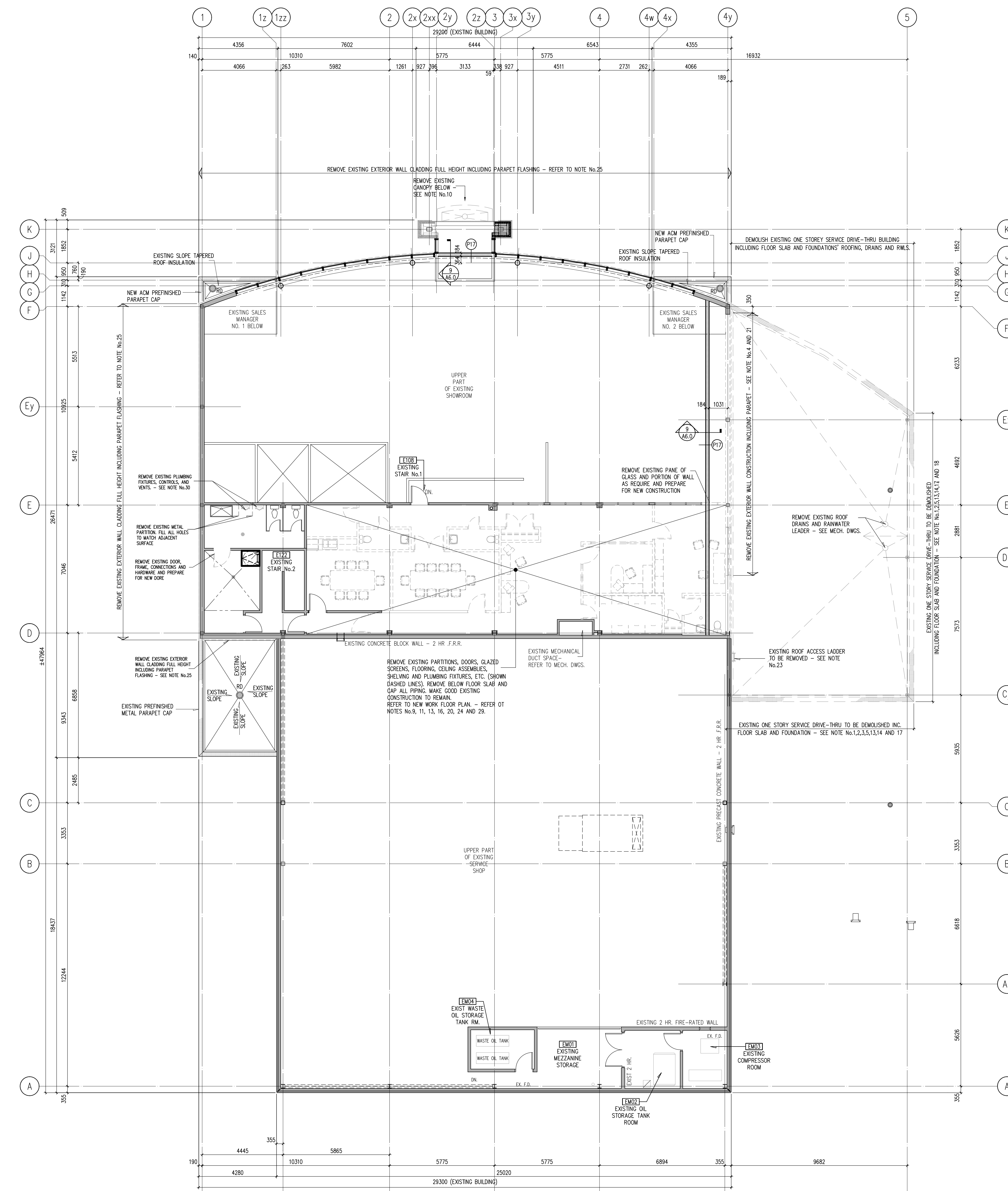
DEMOLITION NOTES

- 1. REMOVE EXISTING CONCRETE FLOOR SLAB BY SAWCUT AND ALL SUBGRADE MATERIALS AS REQUIRED TO INSTALL NEW CONSTRUCTION. ALSO SEE STRUCT. DWGS. FOR SLAB REMOVAL AND PREPARATION.
- 2. REMOVE EXISTING COLUMN AND PIER TO 914mm BELOW EXISTING FLOOR SLAB AND PREPARE FOR NEW CONSTRUCTION. SEE ALSO STRUCTURAL DRAWINGS.
- 3. REMOVE EXISTING DOOR, FRAME, HARDWARE, UNTIL WALL CONSTRUCTION IS REQUIRED TO INSTALL NEW CONSTRUCTION.
- 4. REMOVE EXISTING WALL CONSTRUCTION AS SHOWN INCLUDING ANY STEEL FRAMING. MAKE GOOD ANY EXISTING SURFACES THAT ARE TO REMAIN.
- 5. REMOVE EXISTING O/H DOOR, FRAME, HARDWARE, AND TRACK GUARD AS REQUIRED AND PREPARE TO INSTALL NEW CONSTRUCTION.
- 6. REMOVE ALL EXISTING ASPHALT AND SUBGRADE MATERIALS AS REQUIRED TO REINSTATEMENT OF NEW ASPHALT - SEE CIVIL DRAWINGS.
- 7. REMOVE EXISTING CONCRETE CURB AND SIDEWALK. REFER TO CIVIL DRAWINGS FOR EXTENT.
- 8. CONTRACTOR TO PREPARE CONCRETE FLOOR IN CROSSED AREA AS REQUIRED (CLEANING, ETCHING, SCARFING, REMOVING, GRINDING, SHOT BLASTING AND SCRAPING) TO RECEIVE NEW FLOOR FINISH.
- 9. REMOVE EXISTING ALUMINUM FRAMED SCREENS, MULLIONS, DOORS, HARDWARE, LINTEL, MECH., ELEC. ITEMS AND PREPARE FOR NEW CONSTRUCTION.
- 10. REMOVE EXISTING CANOPY INCLUDING ALL METAL FRAMING, FITTINGS, ELECTRICAL ITEMS, ETC. MAKE GOOD EXISTING SURFACES THAT ARE TO REMAIN. SEE ALSO ELEC. DWGS. FOR REMOVAL OF ELECTRICAL ITEMS.
- 11. REMOVE EXISTING PARTITIONS INCLUDING ALL DOORS, WINDOWS AND FRAMES. TERMINATE AND CAP ALL EXISTING SERVICES TO REMAIN OTHERWISE REMOVE ALL PIPES, WIRING, CONDUIT AND FITTINGS. ARRANGE FOR AND/OR DISCONNECT ALL BUILDING SERVICES TO REMAIN PRIOR TO REMOVAL OF ALL PIPES, DUCTS, OR WIRING.
- 12. REMOVE AND DISPOSE OF EXISTING SIGNAGE AND CAP OFF ALL WIRING. SEE ELECTRICAL DRAWINGS.

- 13. COORDINATE WITH MECH. AND ELEC. TRADES FOR ALL CUTTING OF FLOORS, WALLS OR DECKS AS REQUIRED. OF INSTALLATION OF MECH. AND ELEC. EQUIPMENT OR SYSTEMS.
- 14. REMOVE AND DISPOSE OF EXISTING TRENCH DRAIN AND ALL RELATED ITEMS AS REQUIRED AND PREPARE FOR NEW CONSTRUCTION. SEE ALSO MECH. DWGS. FOR REMOVAL.
- 15. REMOVE EXISTING CONCRETE BLOCK WALL CONSTRUCTION AS SHOWN AND MAKE GOOD ALL SURFACES TO REMAIN FOR NEW CONSTRUCTION.
- 16. REMOVE EXISTING CEILING TILE, SUSPENSION SYSTEM, LIGHTING, CONDUIT WIRING, MECHANICAL SYSTEMS AS REQUIRED AND PREPARE FOR NEW CONSTRUCTION. SEE ALSO MECH. & ELEC. DRAWINGS. SEE ALSO DWG. A08.
- 17. REMOVE EXISTING WALL CONSTRUCTION FULL HEIGHT INCLUDING PARAPET AND ROOF FLASHING. REMOVE FOUNDATION WALL TO 914mm BELOW FIN. GRADE AND PREPARE FOR NEW CONSTRUCTION.
- 18. REMOVE EXISTING ALUMINUM FRAMED/ HOLLOW METAL SCREENS, MULLIONS, DOORS, CURBS, HARDWARE, MECH. ELEC. ITEMS TO INSTALL NEW CONSTRUCTION AS SHOWN.
- 19. REMOVE EXISTING CEILING TILE AND PREPARE T-BAR FOR NEW TILE.
- 20. REMOVE EXISTING WINDOW AND ALL RELATED ITEMS AND PREPARE FOR NEW CONSTRUCTION.
- 21. REMOVE ALL ELECTRICAL & MECHANICAL ITEMS AS REQUIRED (LIGHTS, GRILLES, OUTLET BOXES, VENTS & CONTROLS). SEE ALSO MECH. & ELEC. DRAWINGS.
- 22. REMOVE EXISTING LIGHT FIXTURE AND CAP OFF ALL WIRING CONNECTIONS - REFER TO ELECTRICAL DRAWINGS.
- 23. REMOVE AND DISPOSE OF EXISTING ROOF LADDER. MAKE GOOD EXISTING SURFACE AND PREPARE FOR NEW CONSTRUCTION.
- 24. REMOVE EXISTING FLOOR TILE AND ADHESIVE (CLEAN, ETCH, SCRAPE, ETC.) AND PREPARE FOR NEW FLOOR FINISH.
- 25. REMOVE EXISTING WALL CLADDING INCLUDING ANY METAL TIES AND ANCHORING SYSTEM AND PREPARE FOR NEW WALL CONSTRUCTION.
- 26. REMOVE EXISTING PARTS PASS THRU WINDOW

- 27. REMOVE EXISTING ROOF FLASHING INCLUDING PARAPET. MAKE GOOD EXISTING ROOF TO ACCEPT NEW CONSTRUCTION.
- 28. REMOVE EXISTING WALL CONSTRUCTION FULL HEIGHT INCLUDING PARAPET AND ROOF FLASHING AND PREPARE FOR NEW CONSTRUCTION.
- 29. REMOVE EXISTING PLUMBING FIXTURES, TAPS, CONTROLS, LIGHTS, WIRING, DRAINAGE, VENTS, EQUIPMENTS ETC. ALSO REMOVE ALL CABINETS AND COUNTER TOPS. AND PREPARE TO INSTALL NEW CONSTRUCTION. CAP OFF ALL SERVICES (MECH. ELEC.) FILL ALL OPENINGS IN SLAB WITH NEW CONCRETE.
- 30. REMOVE EXISTING PLUMBING FIXTURES, CONTROLS, AND VENTS. CAP OFF ALL SERVICES AND PREPARE FOR NEW CONSTRUCTION. FILL ALL OPENINGS IN SLAB AND WALL TO MATCH ADJACENT SURFACES - ALSO SEE MECH. DWGS.
- 31. REMOVE EXISTING SIDEWALK AND CURB AND PREPARE GRADE CONSTRUCTION ALSO SEE CIVIL DRAWINGS.
- 32. REMOVE EXISTING STEEL BOLLARD INCLUDING FOUNDATION AND PREPARE FOR NEW CONSTRUCTION.
- 33. REMOVE EXISTING SLIDING GATE AND ALL RELATED CONNECTIONS INCLUDING FOUNDATIONS AND PREPARE FOR NEW CONSTRUCTION.
- 34. REMOVE EXISTING LIGHT STANDARD INCLUDING FOUNDATION. ARRANGE AND OR DISCONNECT AND CAP OFF SERVICES PRIOR TO REMOVAL OF LIGHT STANDARD.

NOTE:
DASHED LINES INDICATE EXTENT OF DEMOLITION. REMOVE WALLS, ROOFS, DOORS, WINDOWS, STEEL AND FIXTURES AS SHOWN. CAP ALL MECH. AND ELEC. SERVICES THAT WERE REMOVED OR ALTERED. MAKE GOOD EXISTING SURFACES TO RECEIVE NEW CONSTRUCTION.
DISPOSE OF ALL DEMOLISHED CONSTRUCTION/MATERIALS.



GENERAL NOTES

APR. 2/25	3	ISSUED FOR BUILDING PERMIT	SES
APR. 1/25	2	ISSUED FOR PRELIMINARY PRICING	SES
FEB. 3/25	1	ISSUED FOR CLIENT REVIEW	SES
DATE	REV.	DESCRIPTION	DRN BY

REVISION RECORD	
SEAL:	NORTH ARROW

RAT
RAI Architect Inc.
92 Church St. South, Suite 104
Ajax, Ontario L1S 6B4
Tel: 905.291.2000
e-mail: rat@raiarchitect.com
www.raiarchitect.com

CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES BEFORE COMMENCING WORK. LATEST APPROVED DRAWINGS ONLY TO BE USED FOR CONSTRUCTION. PRINTS ARE NOT TO BE SCALED.

PROJECT: **CLARINGTON TOYOTA**
10 SPICER SQUARE, BOYMANVILLE, ON. L1C 5M2

DRAWING TITLE: **SECOND FLOOR DEMOLITION PLAN A2.2**

SCALE: 1:100

JOB No. 30-23