

LEGEND	
	PROPERTY LIMITS
	EX. ELEVATION
	PR. MUD MAT
	PR. SILT FENCE PER TOWN STANDARD AS-706
	EX. OVERLAND FLOW ROUTE
	PROPOSED SILT SACK

No.	ISSUE / REVISION	DATE
2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19

SURVEY NOTES:
SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13)
REFERENCE No.: 23-25-207-00.

BENCHMARK:
ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m (CGVD-1928:1978).

SITE BENCHMARK:
TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE, APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.
ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).
DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999895.

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN BY WANG ARCHITECTS INC.
DRAWING No.: A1.1 (2025/MARCH/19)
PROJECT No.: 00026

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.
ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

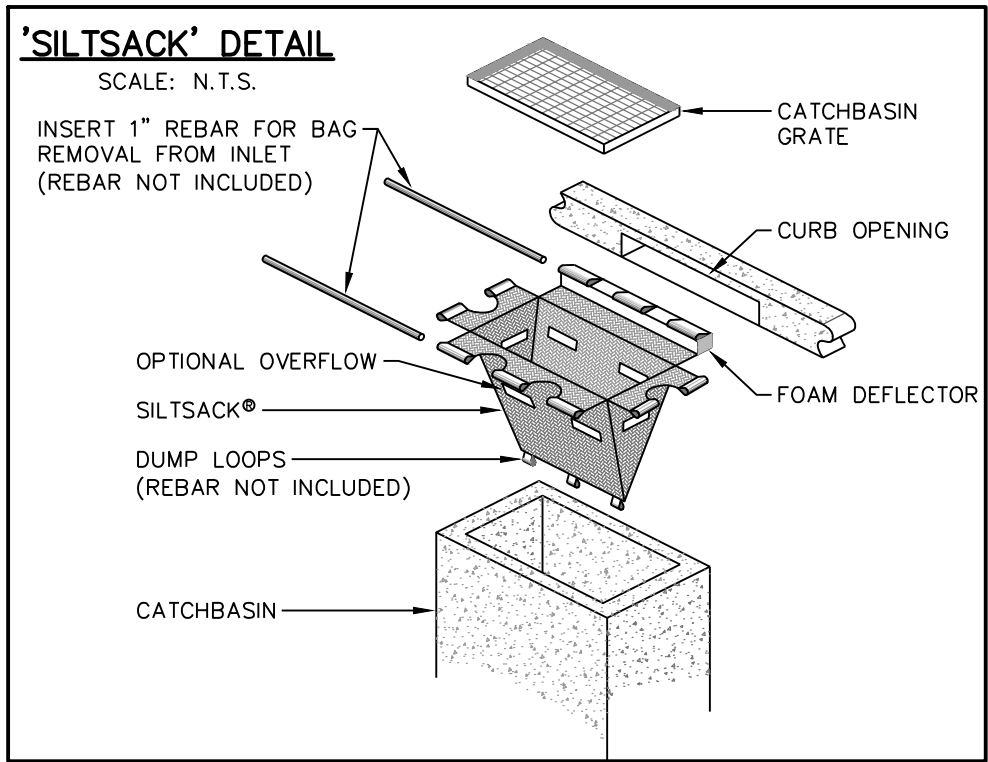
Project
725 WESTNEY ROAD SOUTH
TOWN OF AJAX

Drawing
EROSION AND SEDIMENT CONTROL PLAN

CROZIER
CONSULTING ENGINEERS

211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CFCROZIER.CA

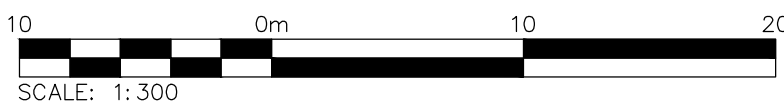
Drawn By	D.B.	Design By	G.S.	Project	2542-6840
Check By	M.I.	Check By	M.I.	Scale	1:300
				Dwg.	C101

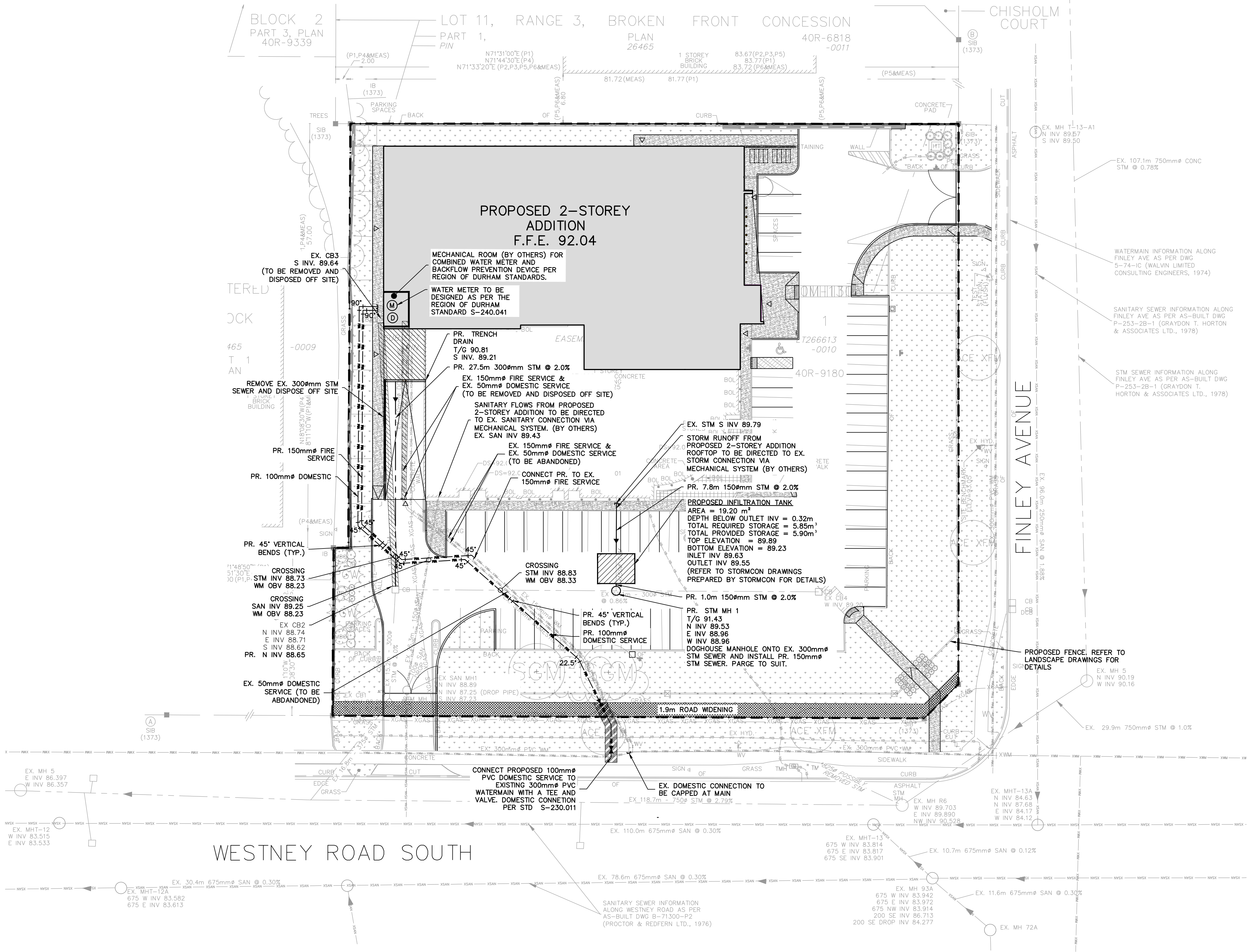


NOT FOR CONSTRUCTION

Stamp

Stamp





LEGEND	
	PROPERTY LIMITS
	PR. DETECTOR CHECK VALVE IN CHAMBER
	PR. WATER METER PER MECHANICAL DESIGN AND SPECIFICATIONS
	EXISTING SINGLE / DOUBLE CATCHBASIN
	EXISTING GASMAIN
	EXISTING WATERMAIN & VALVE
	EXISTING FIBER OPTIC LINE
	EXISTING FIRE HYDRANT & GATE VALVE
	SURVEY BENCHMARK
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING STORM SEWER & MANHOLE
	PROPOSED WATERMAIN & VALVE
	PROPOSED FIRE HYDRANT & GATE VALVE
	PROPOSED SIAMESE CONNECTION
	PROPOSED STORM SEWER & MANHOLE
	PROPOSED SINGLE / DOUBLE CATCHBASIN
	PROPOSED SANITARY SEWER & MANHOLE
	PROPOSED LIGHT POLE (REFER TO ARCH)
	REINSTATED AREA

No.	ISSUE / REVISION	DATE
2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19

SURVEY NOTES:
SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13)
REFERENCE No.: 23-25-207-00.

BENCHMARK:
ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m (CGVD-1928:1978).

SITE BENCHMARK:
TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE, APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.
ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999895.

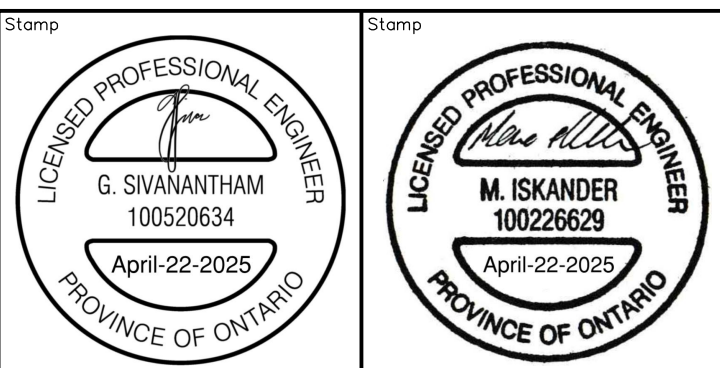
SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN BY WANG ARCHITECTS INC.
DRAWING No.: A1.1 (2025/MARCH/19)
PROJECT No.: 00026

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.
ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Project
725 WESTNEY ROAD SOUTH
TOWN OF AJAX

Drawing
SITE SERVICING PLAN

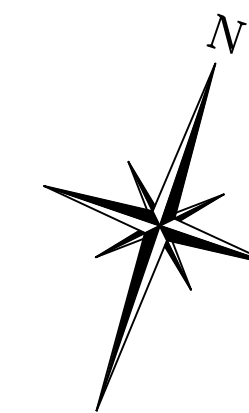
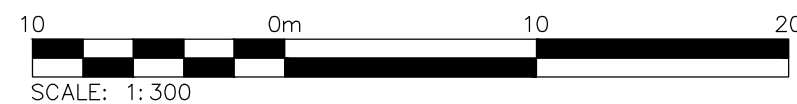
NOT FOR CONSTRUCTION



CROZIER
CONSULTING ENGINEERS

211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CFCROZIER.CA

Drawn By	D.B.	Design By	G.S.	Project	2542-6840
Check By	M.I.	Check By	M.I.	Scale	1:300
				Dwg.	C102



LEGEND

	PROPERTY LIMITS
	LIMIT OF CONSTRUCTION
	EXISTING CONTOUR (0.5m)
	EXISTING CONTOUR (1.0m)
	EXISTING GRADE
	EX. FIRE HYDRANT & VALVE
	MATCH EXISTING GRADE
	PROPOSED GRADE
	PROPOSED TOP OF WALL GRADE
	PROPOSED BOTTOM OF WALL GRADE
	PROPOSED TOP OF CURB ELEVATION
	PROPOSED BOTTOM OF CURB ELEVATION
	PROPOSED FLOW DIRECTION
	PROPOSED SLOPE (3:1 MAX)
	EXISTING OVERLAND FLOW
	PROPOSED OVERLAND FLOW
	SURVEY BENCHMARK
	PROPOSED LIGHT POLE (REFER TO ARCH)

2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19
No.	ISSUE / REVISION	YYYY/MMM/DD

SURVEY NOTES:

SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13)
REFERENCE No.: 23-25-207-00.

BENCHMARK:

ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX
BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m
(CGVD - 1928:1978).

SITE BENCHMARK:

TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE,
APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.

ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY
REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE
COMBINED SCALE FACTOR OF 0.9999895.

SITE PLAN NOTES:

DESIGN ELEMENTS ARE SHOWN ON SITE PLAN BY WANG ARCHITECTS INC.
DRAWING No.: A1.1 (2025/MARCH/19)
PROJECT No.: 00026

DRAWING NOTES:

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND
THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS
OFFICE IS STRICTLY PROHIBITED.

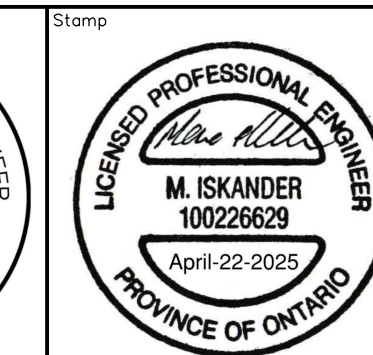
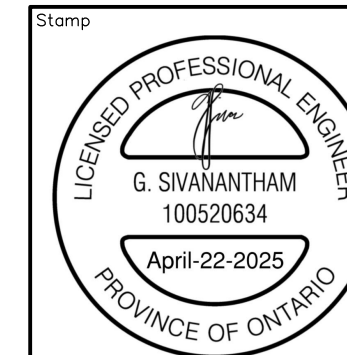
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND
REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.

THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER
PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.

ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE
CONTRACTOR PRIOR TO CONSTRUCTION.

Project	725 WESTNEY ROAD SOUTH TOWN OF AJAX
Drawing	SITE GRADING PLAN

NOT FOR CONSTRUCTION

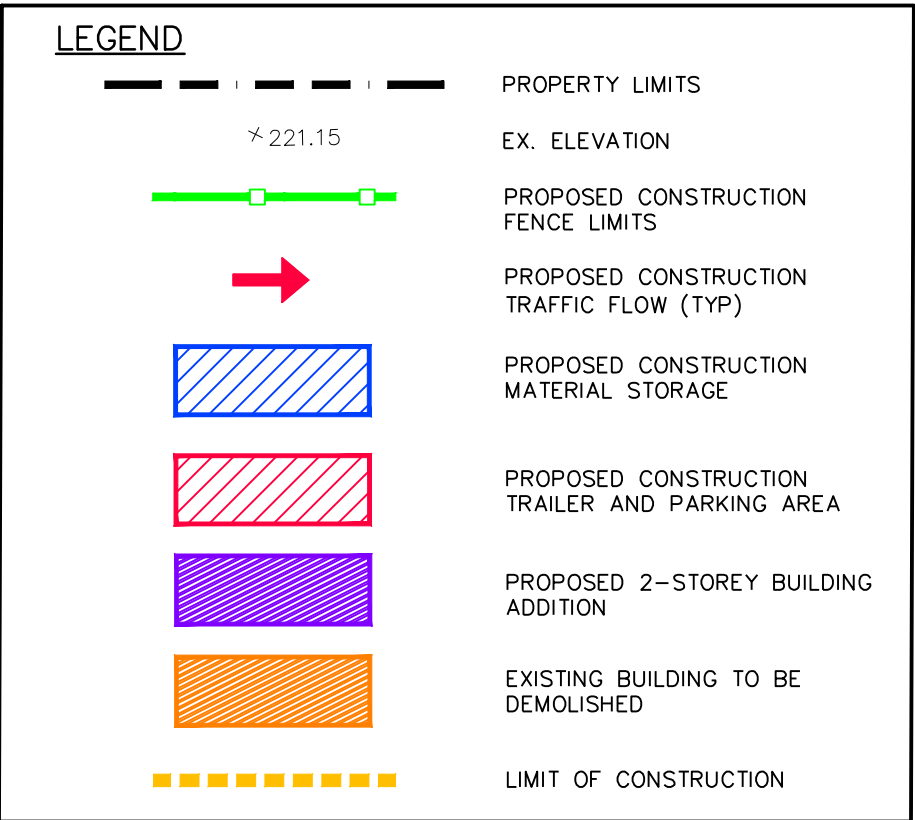
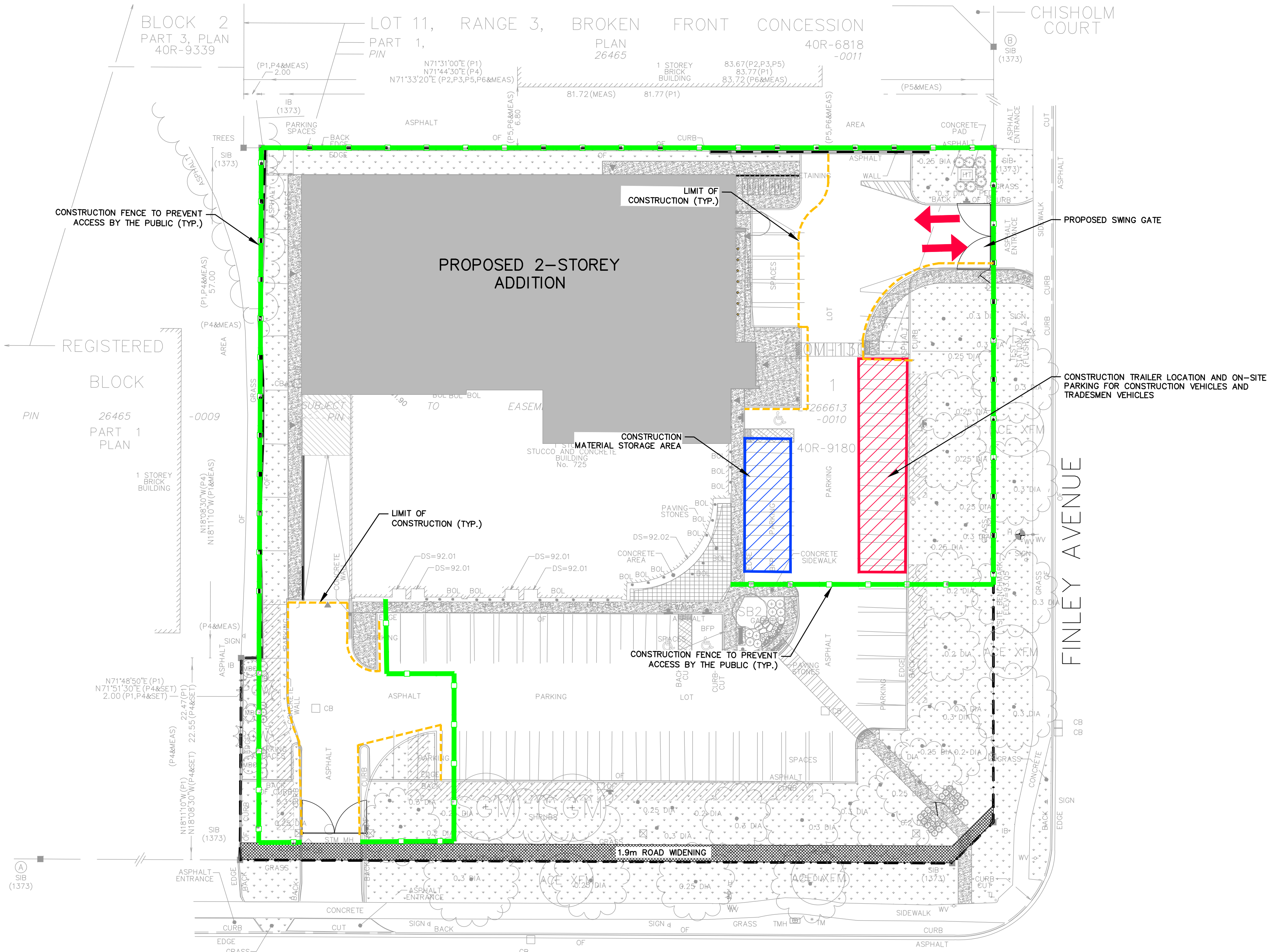
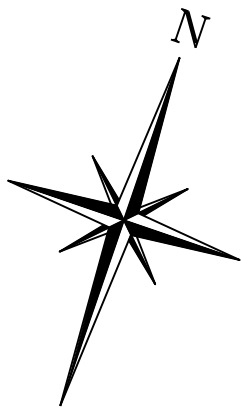


211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CFCROZIER.CA

Drawn By	D.B.	Design By	G.S.	Project	2542-6840
Check By	M.I.	Check By	M.I.	Scale 1: 300	Dwg. C103

CONSTRUCTION MANAGEMENT GENERAL NOTES:

1. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ACTIVITY (STAGING, STOCKPIILING, VEHICLE PARKING, ETC.) TO BE KEPT WITHIN THE LIMITS OF THE SITE. NO PARKING WILL BE PERMITTED ON THE MUNICIPAL RIGHT-OF-WAY.
2. CONTRACTOR TO ENSURE NO GRADING OR SERVICES WITHIN TREE PROTECTION ZONE.



2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19
No.	ISSUE / REVISION	YYYY/MM/DD

SURVEY NOTES:

SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13)
REFERENCE No.: 23-25-207-00.

BENCHMARK:

ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX
BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m
(CGVD-1928:1978).

SITE BENCHMARK:

TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE,
APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.

ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY
REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE
COMBINED SCALE FACTOR OF 0.999895.

SITE PLAN NOTES:

DESIGN ELEMENTS ARE BASED ON SITE PLAN BY WANG ARCHITECTS INC.
DRAWING No.: A1.1 (2025/MARCH/19)
PROJECT No.: 00026

DRAWING NOTES:

THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND
THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS
OFFICE IS STRICTLY PROHIBITED.

THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND
REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.

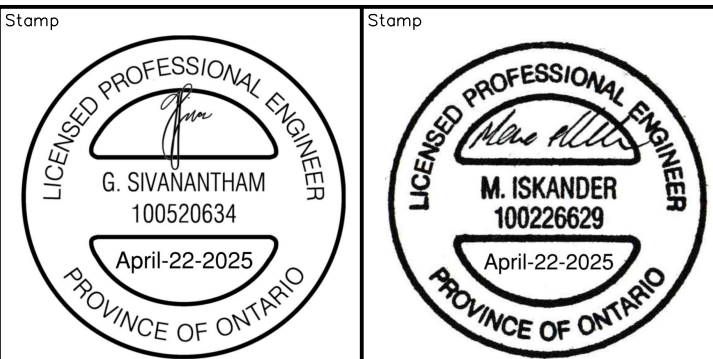
THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER
PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.

ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE
CONTRACTOR PRIOR TO CONSTRUCTION.

Project
725 WESTNEY ROAD SOUTH
TOWN OF AJAX

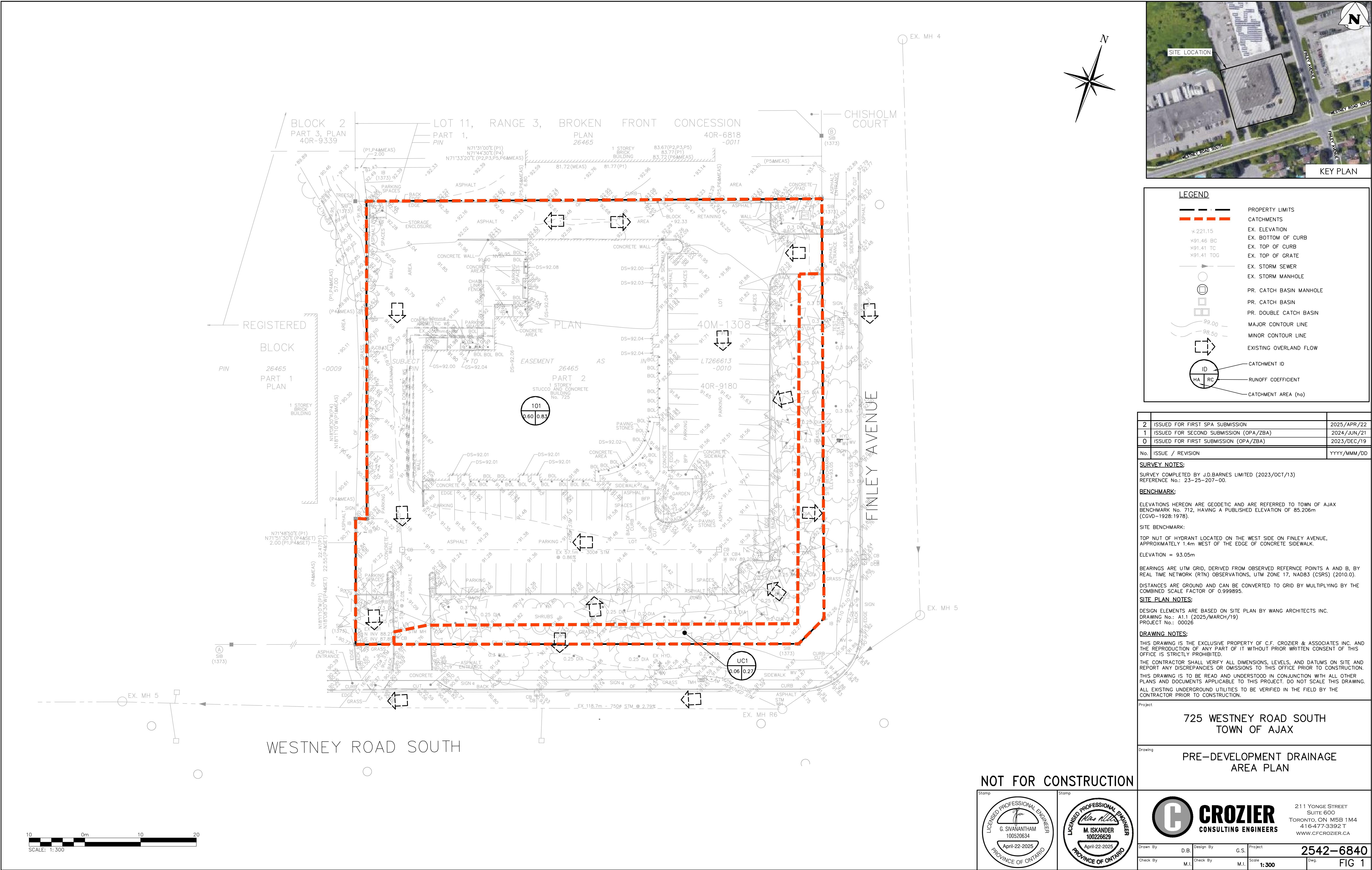
Drawing
CONSTRUCTION MANAGEMENT PLAN

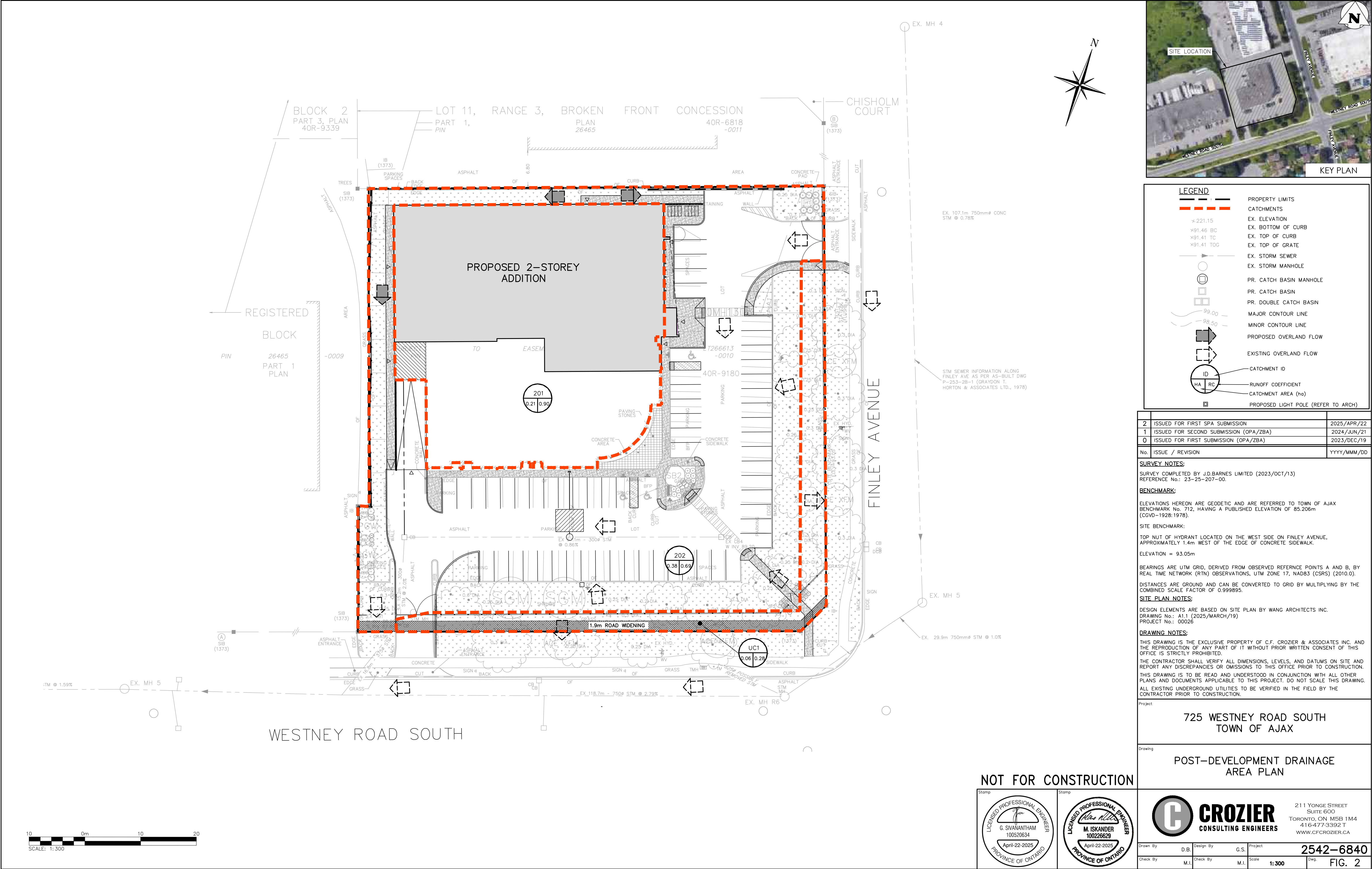
NOT FOR CONSTRUCTION



211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CFCROZIER.CA

Drawn By	D.B.	Design By	G.S.	Project	2542-6840
Check By	M.I.	Check By	M.I.	Scale	1:300
				Dwg.	C105





LEGEND	
	PROPERTY LIMITS
	CATCHMENTS
	EX. ELEVATION
	EX. BOTTOM OF CURB
	EX. TOP OF CURB
	EX. TOP OF GRATE
	EX. STORM SEWER
	EX. STORM MANHOLE
	PR. CATCH BASIN MANHOLE
	PR. CATCH BASIN
	PR. DOUBLE CATCH BASIN
	MAJOR CONTOUR LINE
	MINOR CONTOUR LINE
	PROPOSED OVERLAND FLOW
	EXISTING OVERLAND FLOW
	CATCHMENT ID
	RUNOFF COEFFICIENT
	CATCHMENT AREA (ha)
	PROPOSED LIGHT POLE (REFER TO ARCH)

2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19
No.	ISSUE / REVISION	YYYY/MMM/DD

SURVEY NOTES:
SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13)
REFERENCE No.: 23-25-207-00.

BENCHMARK:
ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m (CGVD-1928:1978).

SITE BENCHMARK:
TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE, APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.
ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERENCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999895.

SITE PLAN NOTES:
DESIGN ELEMENTS ARE BASED ON SITE PLAN BY WANG ARCHITECTS INC.
DRAWING No.: A1.1 (2025/MARCH/19)
PROJECT No.: 00026

DRAWING NOTES:
THIS DRAWING IS THE EXCLUSIVE PROPERTY OF C.F. CROZIER & ASSOCIATES INC. AND THE REPRODUCTION OF ANY PART OF IT WITHOUT PRIOR WRITTEN CONSENT OF THIS OFFICE IS STRICTLY PROHIBITED.
THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION.
THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING.
ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

Project
**725 WESTNEY ROAD SOUTH
TOWN OF AJAX**

Drawing
**POST-DEVELOPMENT DRAINAGE
AREA PLAN**

NOT FOR CONSTRUCTION

Stamp

Stamp

211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CFCROZIER.CA

Drawn By	D.B.	Design By	G.S.	Project	2542-6840
Check By	M.I.	Check By	M.I.	Scale	1:300
				Dwg.	FIG. 2