

2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19
No.	ISSUE / REVISION	YYYY/MMM/DD

SURVEY NOTES:

SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13) REFERENCE No.: 23-25-207-00.

BENCHMARK:

ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m (CGVD-1928: 1978).

SITE BENCHMARK:

TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE, APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.

ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERNCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0). DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999895.

SITE PLAN NOTES:

DESIGN ELEMENTS ARE BASED ON SITE PLAN BY WANG ARCHITECTS INC. DRAWING No.: A1.1 (2025/MARCH/19) PROJECT No.: 00026

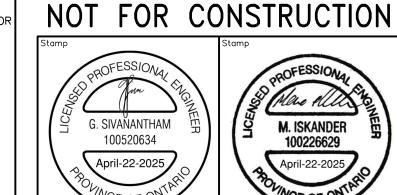
DRAWING NOTES:

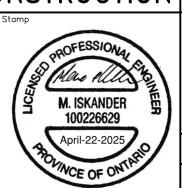
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THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LEVELS, AND DATUMS ON SITE AND REPORT ANY DISCREPANCIES OR OMISSIONS TO THIS OFFICE PRIOR TO CONSTRUCTION. THIS DRAWING IS TO BE READ AND UNDERSTOOD IN CONJUNCTION WITH ALL OTHER PLANS AND DOCUMENTS APPLICABLE TO THIS PROJECT. DO NOT SCALE THIS DRAWING. ALL EXISTING UNDERGROUND UTILITIES TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

725 WESTNEY ROAD SOUTH TOWN OF AJAX

EROSION AND SEDIMENT CONTROL PLAN

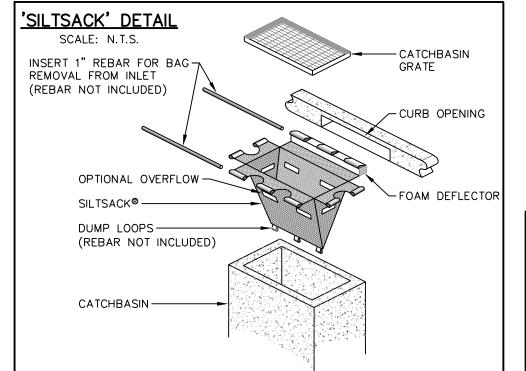


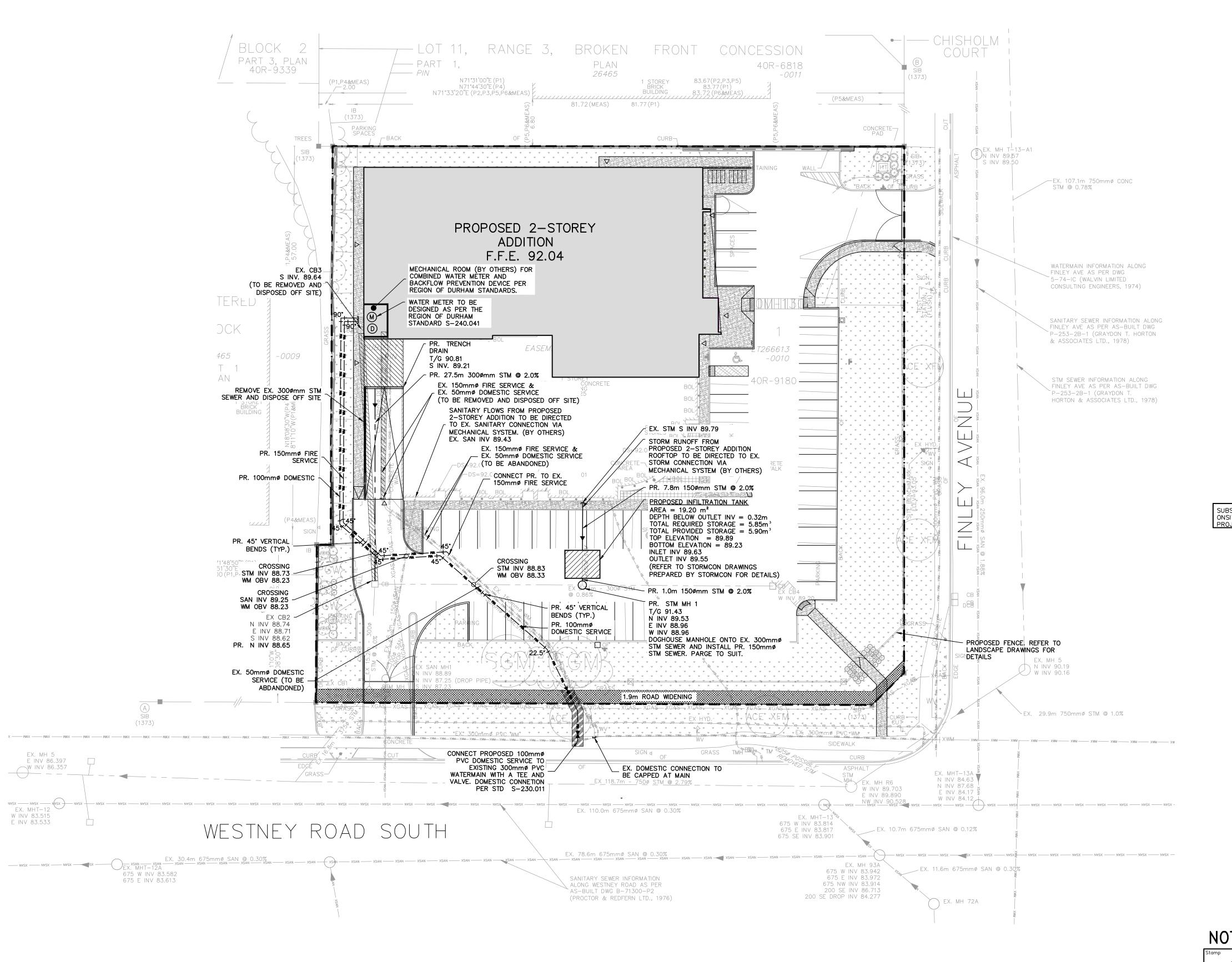




211 YONGE STREET SUITE 600 TORONTO, ON M5B 1M4 416-477-3392 T WWW.CFCROZIER.CA

2542-6840









LEGEND	
	PROPERTY LIMITS
(PR. DETECTOR CHECK VALVE IN CHAMBER
\bigcirc	PR. WATER METER PER MECHANICAL DESIGN AND SPECIFICATIONS
	EXISTING SINGLE / DOUBLE CATCHBASIN
— XGAS —— XGAS —— XGAS —	EXISTING GASMAIN
xwm xwm	EXISTING WATERMAIN & VALVE
ХВ ХВ	EXISTING FIBER OPTIC LINE
	EXISTING FIRE HYDRANT & GATE VALVE
	SURVEY BENCHMARK
——————————————————————————————————————	EXISTING SANITARY SEWER & MANHOLE
——————————————————————————————————————	EXISTING STORM SEWER & MANHOLE
	PROPOSED WATERMAIN & VALVE
-ф-₩	PROPOSED FIRE HYDRANT & GATE VALVE
>	PROPOSED SIAMESE CONNECTION
→	PROPOSED STORM SEWER & MANHOLE
	PROPOSED SINGLE / DOUBLE CATCHBASIN
•	PROPOSED SANITARY SEWER & MANHOLE
	PROPOSED LIGHT POLE (REFER TO ARCH)
	REINSTATED AREA

SUBSURFACE UTILITY ENGINEERING COMPLETED BY ONSITE LOCATES INC.
PROJECT NO. 23-46-34703

2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
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DRAWING No.: A1.1 (2025/MARCH/19)
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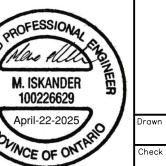
Project

725 WESTNEY ROAD SOUTH TOWN OF AJAX

SITE SERVICING PLAN

NOT FOR CONSTRUCTION





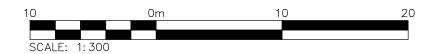


211 YONGE STREET SUITE 600 TORONTO, ON M5B 1M4 416-477-3392 T WWW.CFCROZIER.CA

D.B. Design By G.S. Project 2542—6840

M.I. Check By M.I. Scale 1: 300

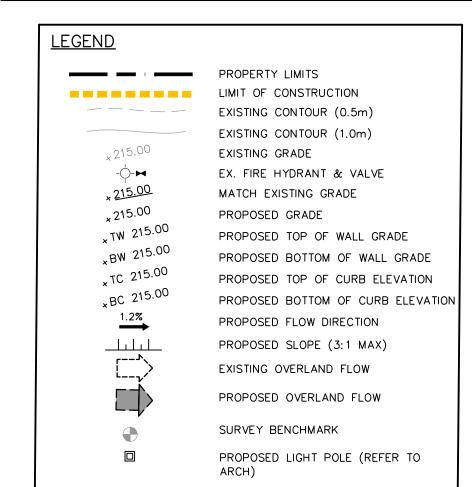
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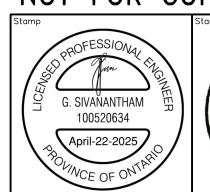
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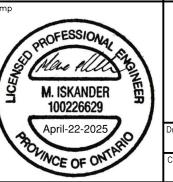
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725 WESTNEY ROAD SOUTH TOWN OF AJAX

SITE GRADING PLAN

NOT FOR CONSTRUCTION

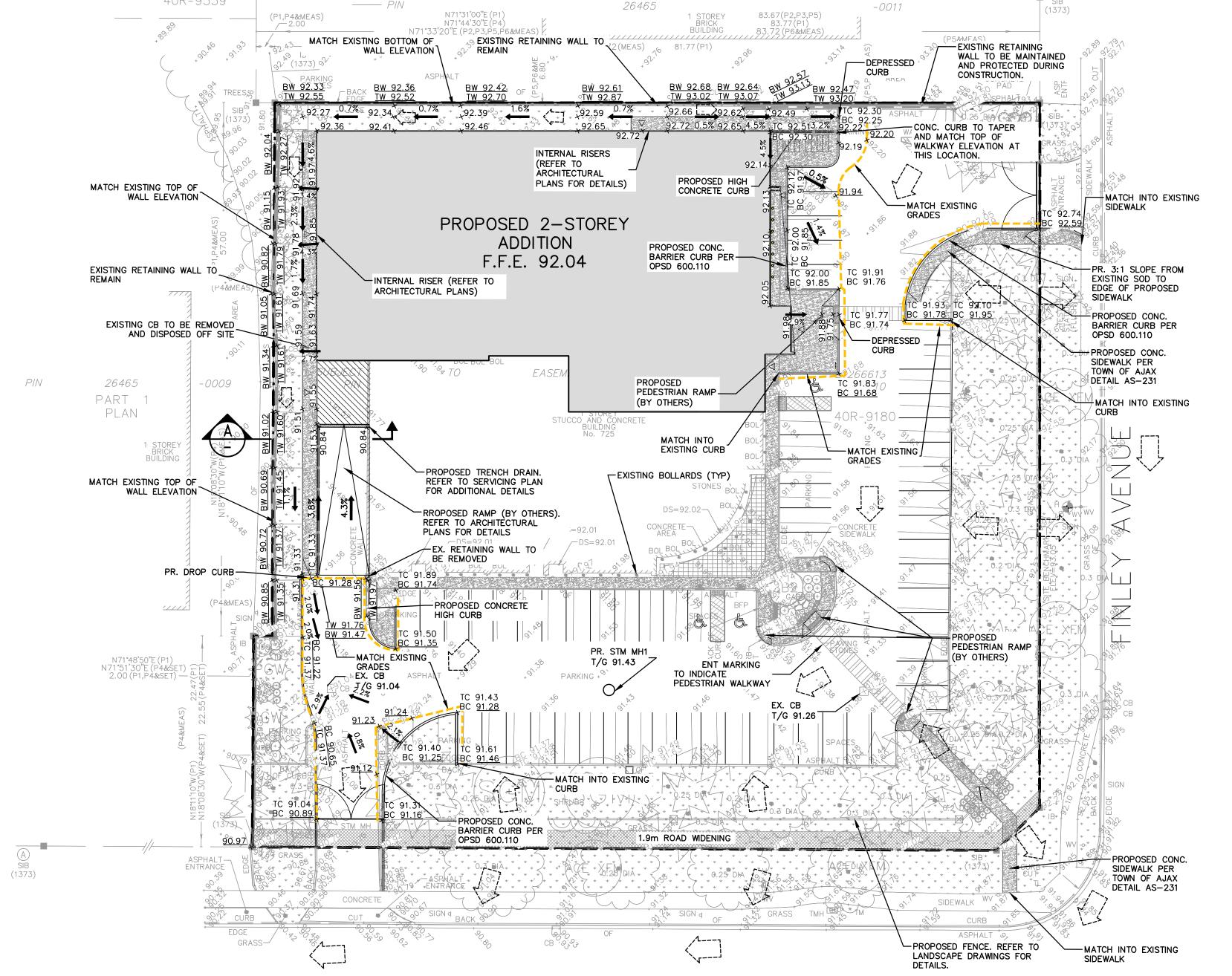






211 YONGE STREET SUITE 600 TORONTO, ON M5B 1M4 416-477-3392 T WWW.CFCROZIER.CA

esign By	G.S.	Project	2	542-	-6840
neck By	M.I.	Scale	1: 300	Dwg.	C103



PLAN

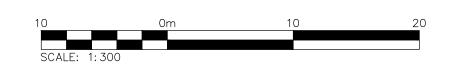
40R-6818

WESTNEY ROAD SOUTH

PART 3, PLAN

40R-9339

—— PART 1,



93.00

92.00

91.00

90.00

89.00

88.00

87.00

86.00

85.00

SECTION 'A'

SCALE: 1:100

RAMP EL. 90.90

EX.BUILDING

WALKWAY

GENERAL NOTES:

- BOULEVARDS TO BE GRADED, TOP SOILED 150mm DEPTH AND SODDED BY OWNER/CONTRACTOR TO THE TOWN'S AND REGION'S SATISFACTION.
- 2. ALL EXISTING PAVEMENT, CURBS, SIDEWALKS, DRIVEWAYS AND BOULEVARD AREAS DISTURBED BY THE CONSTRUCTION MUST BE REINSTATED TO THE SATISFACTION OF THE TOWN OF AJAX.
- 3. A MINIMUM SETBACK OF 1.0m FROM STREET FURNITURE TO PROPOSED DRIVEWAYS AND SIDEWALKS SHALL BE MAINTAINED. ALL EXISTING STREET FURNITURE TO BE RELOCATED BY CONTRACTOR/OWNER TO A SETBACK OF 1.0m. THE COST OF RELOCATION OF ANY UTILITY IS THE RESPONSIBILITY OF THE DEVELOPER/OWNER.
- 4. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- 5. ALL BARRIER FREE ENTRANCES AND BARRIER FREE PATHS OF TRAVEL MUST COMPLY WITH AODA
- 6. THE OWNER/CONTRACTOR SHALL SUPPLY ALL FIRE ROUTE AND HANDICAP SIGNS AS SET OUT IN THE TOWN OF AJAX BY-LAWS AND DESIGN CRITERIA.
- . SIDEWALK AND DRIVEWAYS SHALL BE CONSTRUCTED AS PER TOWN OF AJAX DETAIL AS 231 AND AS 342 RESPECTIVELY.

STORM SEWER GENERAL NOTES:

OPSD 401-010.

- 1. PIPE BEDDING AS PER S-200.010 DURHAM REGION STANDARD FOR PVC AND AS-135 TOWN OF AJAX STANDARD.
- 2. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND
- ANY DAMAGE OR DISTURBANCE DURING CONSTRUCTION. STORM SEWER PIPES 450mm DIAMETER AND LARGER SHALL BE STEET
- REINFORCED CONCRETE PIPE CERTIFIED AS CONFORMING TO SPECIFICATION CSA A257.1, A257.3 OR LATEST VERSION AND CLASS AS NOTED. . ALL BENCHING AS PER AS—113 TOWNS OF AJAX STANDARD OR AS NOTED. 5. MAINTENANCE HOLES SHALL CONFORM TO OPSD 701.010 (1200mm), OPSD 701.011 (1500mm) AND 701.011.COVERS AND FRAMES SHALL CONFORM TO
- 6. CATCHBASINS SHALL CONFORM TO OPSD 705.010 (SINGLE) AND 705.020 (DOUBLE). FRAME AND GRATES TO CONFORM TO OPSD 400.010.
- 7. SUBDRAINS TO BE INSTALLED AT EACH CATCHBASIN AND MAINTENANCE HOLE,
- 8. ALL STORM CONNECTIONS SHALL CONFORM TO AS-165. 9. ALL SANITARY CONNECTIONS SHALL CONFORM TO REGION OF DURHAM STANDARDS S-100.010 AND S-100.020.

WATERMAINS AND FIREMAINS GENERAL NOTES:

- 1. ALL WATERMAINS AND WATER SERVICE MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT REGION OF DURHAM STANDARDS AND SPECIFICATIONS.
- 2. HYDRANT AND VALVE SHALL CONFORM TO S-210.010 DURHAM REGION STANDARD AND PROVIDED WITH STORZ PUMPER CONNECTION.
- 3. WATERMAIN SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 150 DR-18 PIPE MANUFACTURED TO AWWA C900-89 AND CSA CAN3 B137.3-M1986 WITH GASKETED BELL END C/W #14 AEG SOLID COPPER TRACER WIRE. TRACER WIRE SHALL BE ATTACHED TO EVERY NON-METALIC WATERMAIN, FIREMAIN AND SERVICE CONNECTION AS PER S-435 REGION OF DURHAM STANDARD.
- 4. ALL WATERMAINS SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH LOCAL MUNICIPAL AND PROVINCIAL GUIDELINES UNLESS OTHERWISE DIRECTED. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, ETC., MUST BE PROVIDED. ALL NEW MAINS AND SERVICES TO BE PRESSURE TESTED TO 200 PSI (1379kPA) FOR AT LEAST 1 (ONE) HOUR. THE CONTRACTOR (INSPECTED BY THE ENGINEER) SHALL SUCCESSFULLY SWAB AND CHLORINATE MAINS AND SERVICES PRIOR TO CONNECTING TO EXTERNAL WATERMAINS. THE SYSTEM TO BE CONSTRUCTED AND TESTED AS PER OPSS 701. NO CONNECTION TO MUNICIPAL WATERMAIN UNTIL A POSITIVE LABORATORY TEST RESULT IS DELIVERED TO THE TOWN OF AJAX AND DURHAM REGION AND A WRITTEN CLEARANCE IS GIVEN BY THE TOWN OF AJAX. 5. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY
- DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- 6. PIPES 300mm DIAMETER AND SMALLER SHALL BE POLYVINYL CHLORIDE PIPE (PVC) CONFORMING TO CAN/CSA B-137.
- 7. BEDDING AS PER S-200.010 DURHAM REGION STANDARD FOR PVC.

SANITARY SEWER GENERAL NOTES:

- 1. ALL SANITARY SEWER MATERIALS AND CONSTRUCTION METHODS MUST CORRESPOND TO THE CURRENT REGION OF DURHAM STANDARDS AND
- SPECIFICATIONS. 2. SANITARY 375mm DIAMETER AND SMALLER SHALL BE POLYVINYL CHLORIDE (PVC) SDR 28 OR 35 (AS REQUIRED) TO CSA B182.2, B182.4 OR LATEST
- 3. PIPE BEDDING AS PER S-200.010 DURHAM REGION STANDARD FOR PVC AND AS-135 TOWN OF AJAX STANDARD
- 4. THE CONTRACTOR/OWNER IS RESPONSIBLE FOR ALL UTILITY LOCATES AND ANY
- DAMAGE OR DISTURBANCE DURING CONSTRUCTION.
- STORM SEWER PIPES 450mm DIAMETER AND LARGER SHALL BE STEEL REINFORCED CONCRETE PIPE CERTIFIED AS CONFORMING TO SPECIFICATION CSA A257.1, A257.3 OR LATEST VERSION AND CLASS AS NOTED.
- 6. ALL BENCHING AS PER AS-113 TOWNS OF AJAX STANDARD OR AS NOTED. 7. MAINTENANCE HOLES SHALL CONFORM TO OPSD 701.010 (1200mm), OPSD 701.011 (1500mm) AND 701.011.COVERS AND FRAMES SHALL CONFORM TO
- OPSD 401-010. 8. CATCHBASINS SHALL CONFORM TO OPSD 705.010 (SINGLE) AND 705.020

11. ALL SANITARY CONNECTIONS SHALL CONFORM TO REGION OF DURHAM

- (DOUBLE). FRAME AND GRATES TO CONFORM TO OPSD 400.010. 9. SUBDRAINS TO BE INSTALLED AT EACH CATCHBASIN AND MAINTENANCE HOLE.
- 10. ALL STORM CONNECTIONS SHALL CONFORM TO AS-165.

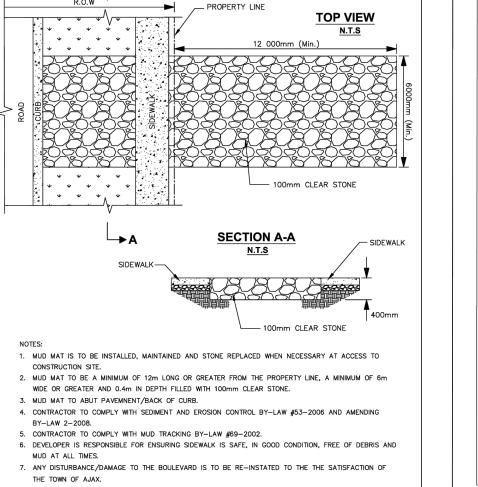
STANDARDS S-100.010 AND S-100.020.

SITE GRADING NOTES:

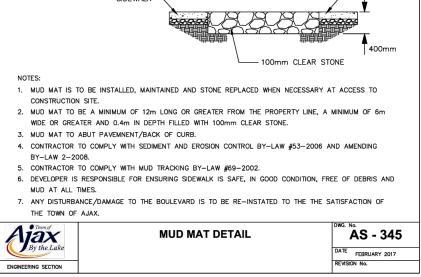
- 1. ALL DISTURBED GRASSES SHALL BE RESTORED TO ITS ORIGINAL CONDITION OR BETTER WITH SOD ON A MINIMUM 150mm TOPSOIL BASE. THE RELOCATION OF TREES AND SHRUBS SHALL BE SUBJECT TO THE APPROVAL BY THE PROJECT LANDSCAPE ARCHITECT ENGINEER.
- 2. ALL GRANULAR BASE AND SUB-BASE MATERIALS SHALL BE GRADED AND COMPACTED TO 98% STANDARD PROCTOR DENSITY. FREE OF DEPRESSIONS AS PER GEOTECHNICAL REPORT BY THE SOIL ENGINEER.
- 3. PROVIDE SUBDRAINS, MINIMUM LENGTH OD 3.0m, EXTENDING FROM ALL CATCHBASINS AND CATCHBASIN MANHOLES TO DRAIN THE GRANULAR SUB-BASE LAYER. 4. ALL BARRIER CURB WITHIN THE SITE TO BE CONSTRUCTED AS PER
- DETAIL, UNLESS OTHERWISE SPECIFIED. 5. TRENCH BACKFILL WITHIN THE RIGHT OF WAY SHALL BE UNSHRINCABLE FILL AND SHALL EXIERD TO THE BASE OF
- ASPHALT. 6. ALL WORK SHALL BE SUBJECT TO THE CONDITIONS AND
- REQUIREMENTS OF THE TOWN'S ROAD OCCUPANCY PERMIT. '. INSPECTION: ALL WORK ON THE MUNICIPAL RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE MUNICIPALITY PRIOR TO BACKFILLING. ALL WORK RELATING TO WATERMAINS AND SEWERS TO BE INSPECTED BY THE MUNICIPALITY WHEN REQUIRED BY THE MUNICIPALITY.
- REFER TO SITE PLAN FOR DIMENSIONS AND SITE DETAILS. 9. STEP JOINT ARE TO BE USED WHERE PROPOSED ASPHALT MEETS EXITING ASPHALT AS PER TOWN OF AJAX STANDARD DETAIL AS-250. ALL JOINT MUST BE SEALED AS PER DETAIL.
- 10. THE CONTRACTOR SHALL PROVIDE TO THE ENGINEER ONE (1) SET OF AS-CONSTRUCTED SITE SERVICING, GRADING, AND SITE ELECTRICAL DRAWINGS.

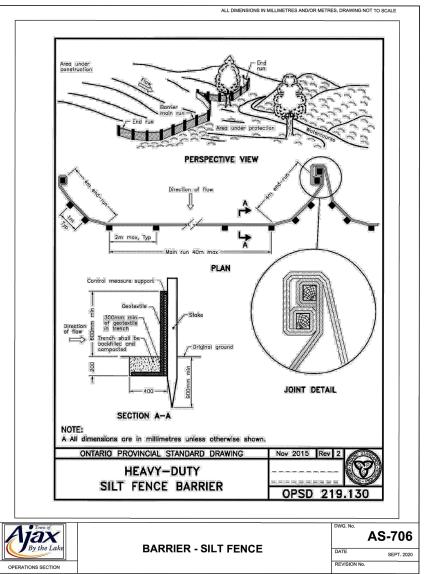
SEDIMENT AND EROSION GENERAL NOTES:

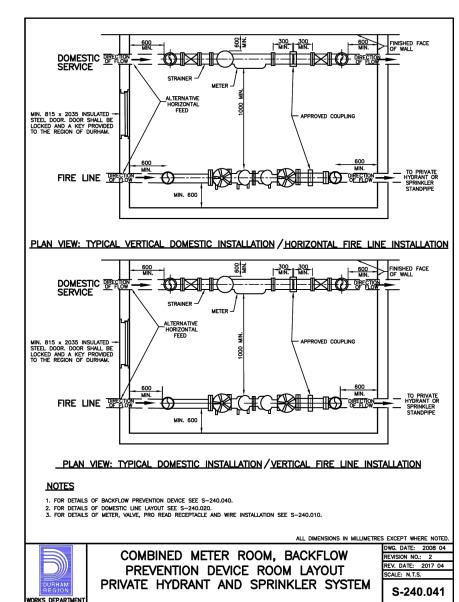
- 1. CONTRACTOR/OWNER TO COMPLY WITH SEDIMENT AND EROSION
- CONTROL BY-LAW #38-2021 AS AMENDED. 2. CONTRACTOR/OWNER TO COMPLY WITH MUD TRACKING BY-LAW
- #69-2002. 3. BEFORE PROCEEDING WITH ANY AREA GRADING THE FOLLOWING MUST BE CONSTRUCTED:
- A)SILT FENCE WHERE INDICATED B)TREE PRESERVATION, INSPECTION IS REQUIRED.
- 4. SILT CONTROL FENCE SHALL BE INSTALLED AROUND THE PERIMETER OFFSET 0.6m INSIDE THE PROPERTY OF THE SITE AND MAINTAINED
- UNTIL THE COMPLETION OF THE LANDSCAPING. 5. ACCUMULATED SILT TO BE REMOVED OFF SITE PRIOR TO REMOVAL OF THE SILT CONTROL FENCE.
- 6. THE SILT FENCE MUST BE INSPECTED WEEKLY AND IMMEDIATELY AFTER RAINFALL EVENTS FOR RIPS OR TEARS, BROKEN STAKES, BLOW OUTS (STRUCTURAL FAILUREO AND ACCUMULATION OD SEDIMENT. THE SILT FENCE MUST BE FIXED AND/OR REPLACED IMMEDIATELY WHEN DAMAGED. SEDIMENT MUST BE REMOVED FROM SILT FENCE WHEN ACCUMULATION REACHES 50% OF THE HEIGHT OF
- 7. THE OWNER WILL SEED, MULCH AND MAINTAIN THE ENTIRE SITE IF A BUILDING PERMIT IS NOT ISSUED WITHIN 365 DAYS OF THE SEDIMENT AND EROSION CONTROL PERMIT BEING ISSUED.
- 8. IF THE SITE REMAINS DORMANT AT ANY TIME FOR MORE THAN 365 DAYS THEN THE OWNER SHALL SEED, MULCH AND MAINTAIN AREAS THAT HAVE BEEN DISTURBED AND ARE OTHERWISE UNFINISHED.
- 9. UPON COMPLETION OF LANDSCAPING ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED. 10. NO CONSTRUCTION ACTIVITY OR MACHINERY SHALL BE BEYOND THE
- 11. ALL TOPSOIL STOCKPILES SHALL BE SURROUNDED WITH A SEDIMENT CONTROL FENCE.
- 12. SHOW TREE HOARDING. 13. EROSION & SEDIMENT CONTROL MEASURES MUST BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE WORKS. 14. EROSION & SEDIMENT CONTROLS MUST BE INSPECTED ON A REGULAR
- BASIS AND AFTER EVERY RAIN FALL EVENT, AND MUST BE MAINTAINED AND REPAIRED IN A TIMELY MANNER TO PREVENT SEDIMENT FROM LEAVING THE SITE. 15. EXISTING AND PROPOSED CATCHBASINS ARE TO BE PROTECTED WITH
- "SILTSACK". REFER TO "SILTSACK" DETAIL ON THIS DRAWING. 16. IT IS REQUIRED TO STABILIZE ALL AREAS THAT WILL REMAIN
- DISTURBED FOR MORE THAN 30 DAYS. 17. MUD MAT, SILT FENCE, AND CATCHBASIN PROTECTION ARE NOT TO
- BE REMOVED UNTIL COMPLETION OF CONSTRUCTION. 18. SEDIMENT AND EROSION CONTROL MEASURES WILL BE IMPLEMENTED PRIOR TO, AND MAINTAINED DURING THE CONSTRUCTION PHASES, TO
- PREVENT ENTRY OF SEDIMENT INTO THE WATER. THE EROSION AND SEDIMENT CONTROL STRATEGIES OUTLINED ON THE PLANS ARE NOT STATIC AND MAY NEED TO BE UPGRADED / AMENDED AS SITE CONDITIONS CHANGE TO PREVENT SEDIMENT RELEÁSES TO THE NATURAL ENVIRONMENT. THE TRCA ENFORCEMENT OFFICER SHOULD BE IMMEDIATELY CONTACTED SHOULD THE EROSION AND
- SEDIMENT CONTROL PLANS CHANGE FROM THE APPROVED PLANS. 20. ALL EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE INSPECTED WEEKLY, AFTER EVERY RAINFALL AND SIGNIFICANT SNOW MELT EVENT, AND DAILY DURING PERIODS OF EXTENDED RAIN OR
- 21. ALL DAMAGED EROSION AND SEDIMENT CONTROL MEASURES SHOULD BE REPAIRED AND/OR REPLACED WITHIN 48 HOURS OF THE
- INSPECTION 22. ALL ACTIVITIES, INCLUDING MAINTENANCE PROCEDURES, WILL BE CONTROLLED TO PREVENT THE ENTRY OF PETROLEUM PRODUCTS, DEBRIS, RUBBLE, CONCRETE, OR OTHER DELETERIOUS SUBSTANCÉS INTO THE WATER. VEHICULAR REFUELING AND MAINTENANCE WILL BE CONDUCTED 30 METRES FROM THE WATER.



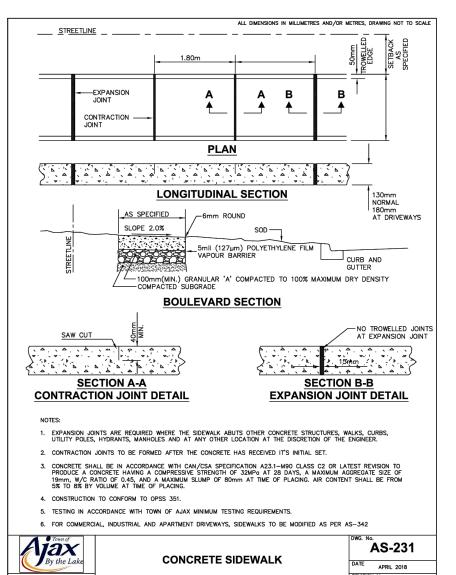
ALL DIMENSIONS IN MILLIMETRES AND/OR METRES, DRAWING NOT TO SCALE

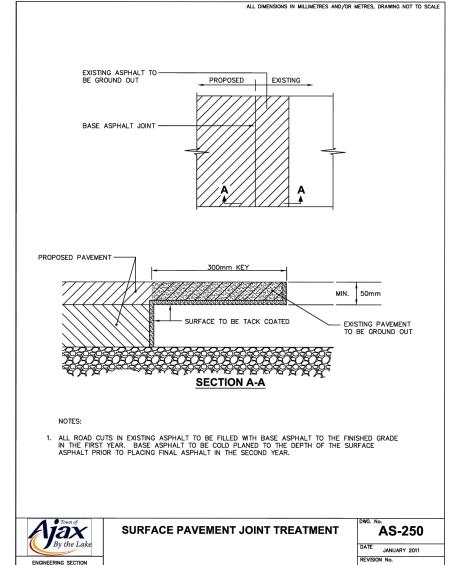


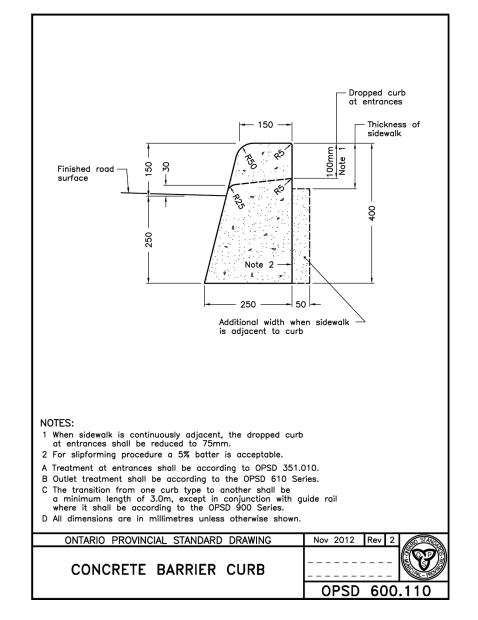




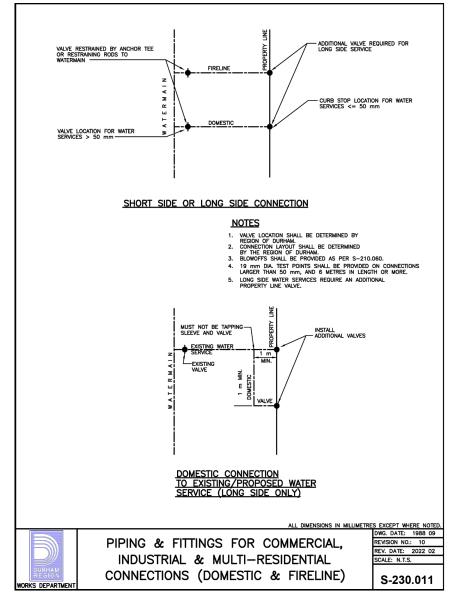


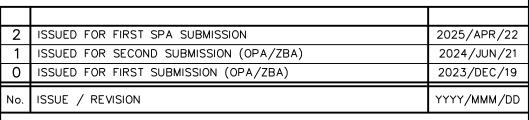






ENGINEERING SECTION





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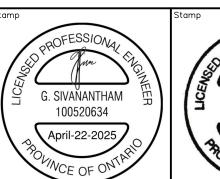
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725 WESTNEY ROAD SOUTH TOWN OF AJAX

CONSTRUCTION NOTES AND DETAILS



NOT FOR CONSTRUCTION





416-477-3392 T WWW.CFCROZIER.CA 2542-6840 C104

TORONTO, ON M5B 1M4

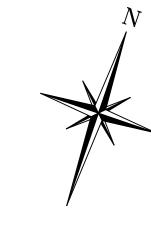
211 YONGE STREET SUITE 600

J:\2500\2542 - Firearms Outlets Canada Inc\6840 - 725 Westney Road South\CAD\Civil_Sheets\6840_C104_CONSTRUCTION NOTES DETAILS.dwg, 2025-04-21 12:31:54 PM, DWG To PDF.pc3

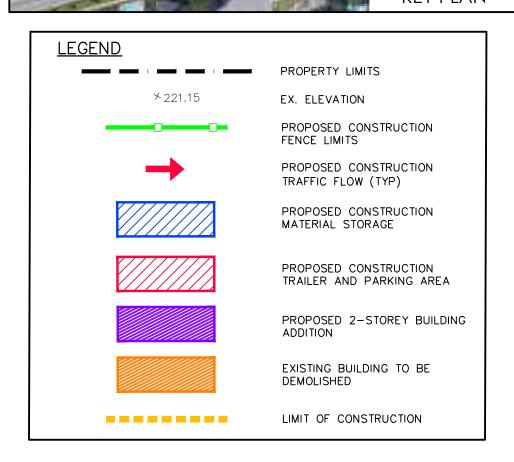
CONSTRUCTION MANAGEMENT GENERAL NOTES:

- 1. CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION ACTIVITY (STAGING, STOCKPILING, VEHICLE PARKING, ETC.) TO BE KEPT WITHIN THE LIMITS OF THE SITE. NO PARKING WILL BE PERMITTED
- ON THE MUNICIPAL RIGHT-OF-WAY.

 2. CONTRACTOR TO ENSURE NO GRADING OR SERVICES WITHIN TREE PROTECTION ZONE.







No.	ISSUE / REVISION	YYYY/MMM/DD
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22

SURVEY NOTES:

SURVEY COMPLETED BY J.D.BARNES LIMITED (2023/OCT/13) REFERENCE No.: 23-25-207-00.

BENCHMARK:

ELEVATIONS HEREON ARE GEODETIC AND ARE REFERRED TO TOWN OF AJAX BENCHMARK No. 712, HAVING A PUBLISHED ELEVATION OF 85.206m (CGVD-1928:1978).

SITE BENCHMARK:

TOP NUT OF HYDRANT LOCATED ON THE WEST SIDE ON FINLEY AVENUE, APPROXIMATELY 1.4m WEST OF THE EDGE OF CONCRETE SIDEWALK.

ELEVATION = 93.05m

BEARINGS ARE UTM GRID, DERIVED FROM OBSERVED REFERNCE POINTS A AND B, BY REAL TIME NETWORK (RTN) OBSERVATIONS, UTM ZONE 17, NAD83 (CSRS) (2010.0).

DISTANCES ARE GROUND AND CAN BE CONVERTED TO GRID BY MULTIPLYING BY THE COMBINED SCALE FACTOR OF 0.999895.

SITE PLAN NOTES:

DESIGN ELEMENTS ARE BASED ON SITE PLAN BY WANG ARCHITECTS INC. DRAWING No.: A1.1 (2025/MARCH/19) PROJECT No.: 00026

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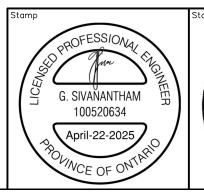
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Project

725 WESTNEY ROAD SOUTH TOWN OF AJAX

CONSTRUCTION MANAGEMENT PLAN

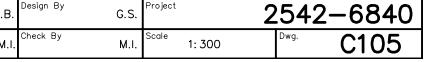
NOT FOR CONSTRUCTION

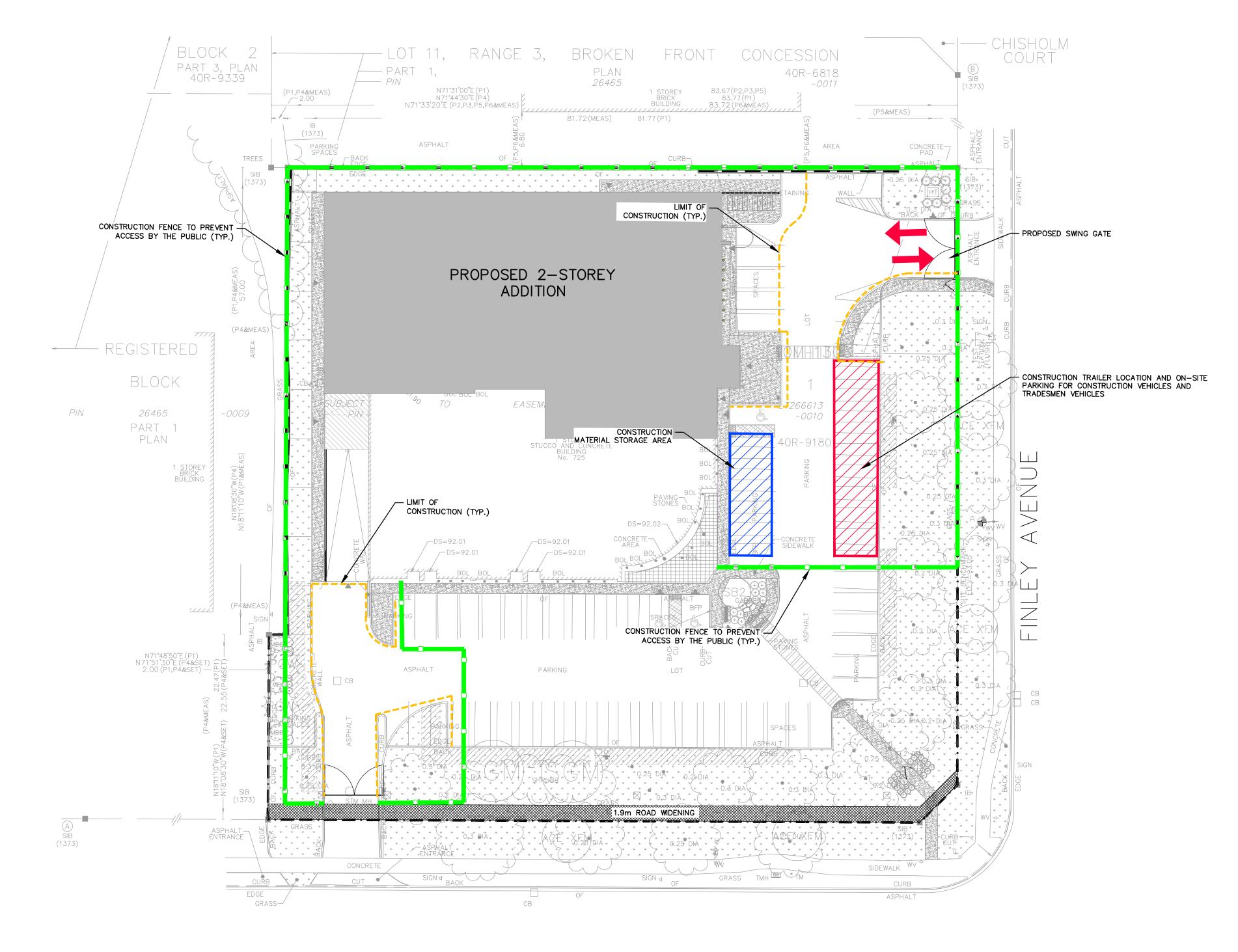




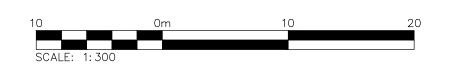


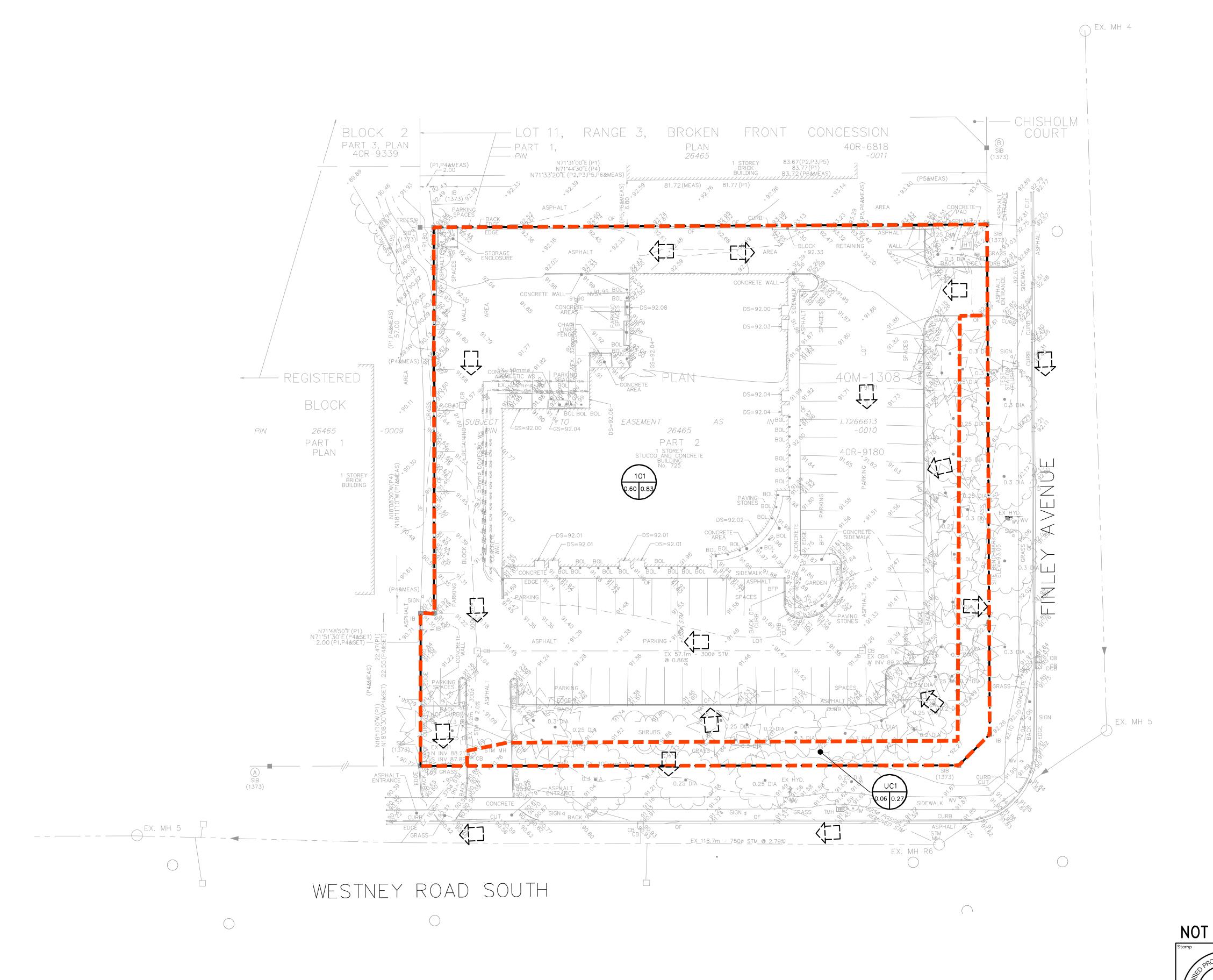
211 Yonge Street Suite 600 Toronto, ON M5B 1M4 416-477-3392 T www.cfcrozier.ca





WESTNEY ROAD SOUTH









1.505115	
<u>LEGEND</u>	
	PROPERTY LIMITS
	CATCHMENTS
★221.15	EX. ELEVATION
×91.46 BC	EX. BOTTOM OF CURB
×91.41 TC	EX. TOP OF CURB
×91.41 TOG	EX. TOP OF GRATE
 ▶	EX. STORM SEWER
	EX. STORM MANHOLE
	PR. CATCH BASIN MANHOLE
	PR. CATCH BASIN
	PR. DOUBLE CATCH BASIN
99.00 _	MAJOR CONTOUR LINE
-98.50 <u>-</u>	MINOR CONTOUR LINE
	EXISTING OVERLAND FLOW
ID	CATCHMENT ID
HA RC	
	── CATCHMENT AREA (ha)

2	ISSUED FOR FIRST SPA SUBMISSION	2025/APR/22
1	ISSUED FOR SECOND SUBMISSION (OPA/ZBA)	2024/JUN/21
0	ISSUED FOR FIRST SUBMISSION (OPA/ZBA)	2023/DEC/19
No.	ISSUE / REVISION	YYYY/MMM/DD
	2 1 0 No.	1 ISSUED FOR SECOND SUBMISSION (OPA/ZBA) 0 ISSUED FOR FIRST SUBMISSION (OPA/ZBA)

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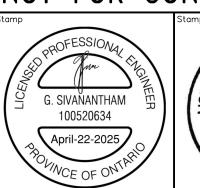
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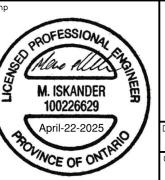
Project

725 WESTNEY ROAD SOUTH TOWN OF AJAX

PRE-DEVELOPMENT DRAINAGE AREA PLAN

NOT FOR CONSTRUCTION

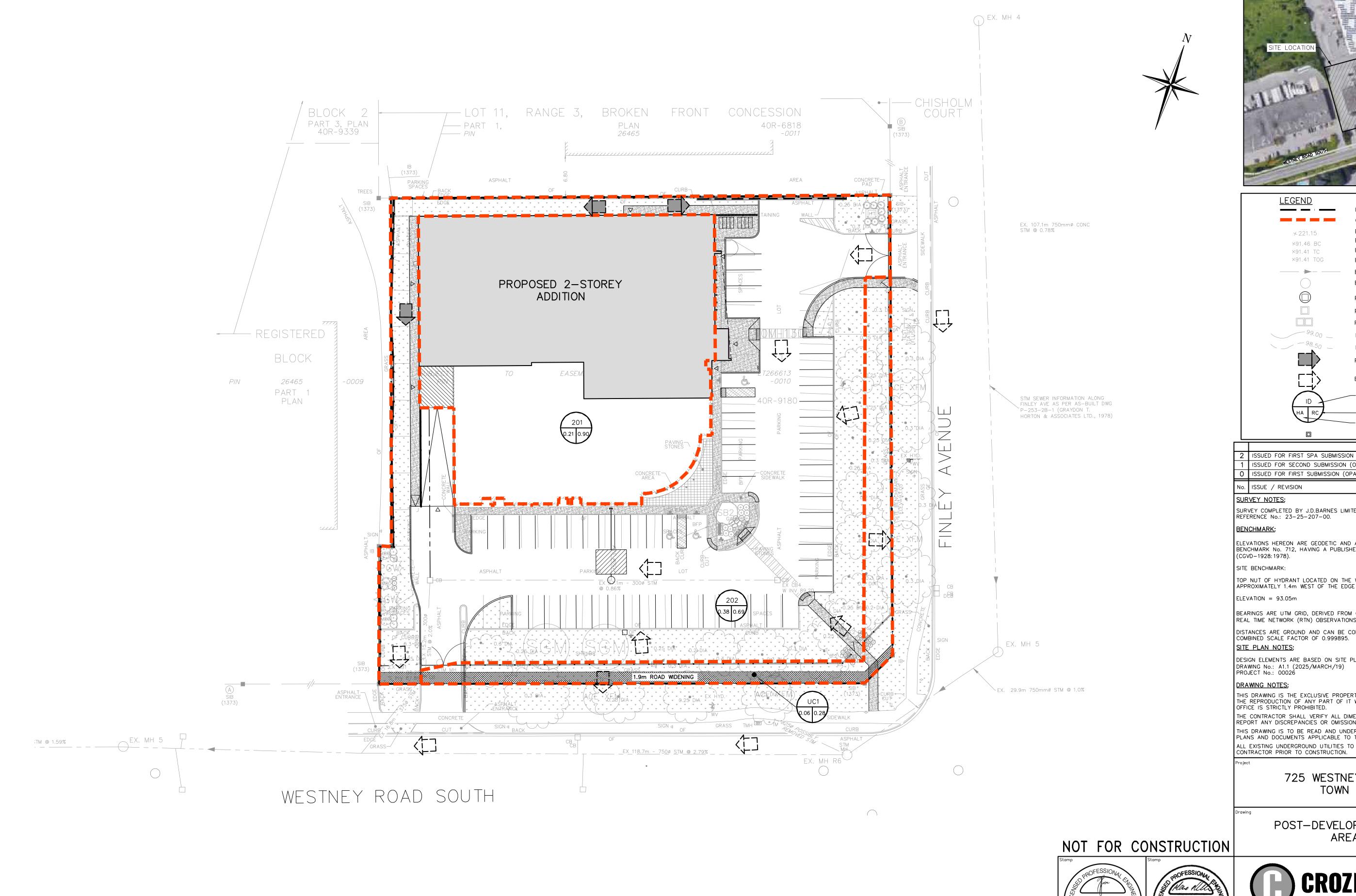




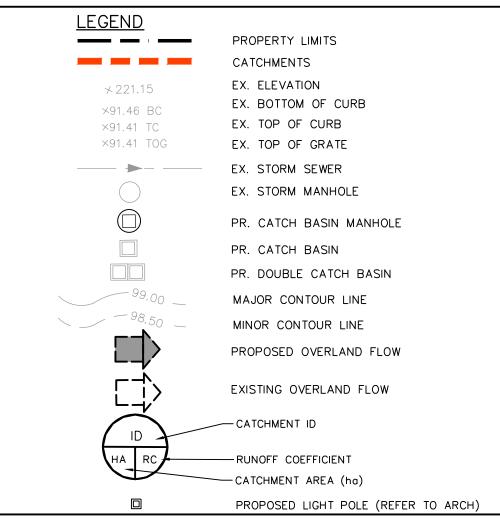
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211 YONGE STREET
SUITE 600
TORONTO, ON M5B 1M4
416-477-3392 T
WWW.CFCROZIER.CA

D.B.	Design By G.S.	Project 2	2542-6840
M.I.	Check By M.I.	Scale 1: 300	Dwg. FIG 1







1 ISSUED FOR SECOND SUBMISSION (OPA/ZBA) 2024/JUN/21 O ISSUED FOR FIRST SUBMISSION (OPA/ZBA) 2023/DEC/19 No. ISSUE / REVISION YYYY/MMM/DD

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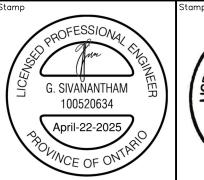
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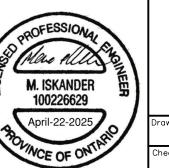
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725 WESTNEY ROAD SOUTH TOWN OF AJAX

POST-DEVELOPMENT DRAINAGE AREA PLAN







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2542-6840