Construction and Demolition Waste Management Plan

Re-Development of Existing Building at 725 Westney Road South, Ajax, ON

April 2025

Revision: 00

Prepared for:
Firearms Outlet Canada
725 Westney Road South, Unit 2
Ajax, ON L1S 7J7

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REVISION HISTORY

Rev	Date	Description	Prepared by	Reviewed by
00	April 4, 2025	Draft Submission	AO	ABL

This report was prepared using scientific principals and professional judgement in the assessment of the available facts and information. The interpretations within this report are based on the limits of the existing information, budgeted scope of work and schedule. The information presented in this document is not to be construed as legal advice.

Watermark Environmental Ltd. relied on information provided by Firearms Outlet Canada, independent sources, and other historical documentation as referenced in this report. The accuracy and completeness of third-party sources was not verified. It is noted that the regulatory guidelines, standards and related documents as they are referenced in this report are subject to interpretation and may change over time.

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Executive Summary

This Construction and Demolition Waste Management Plan (CDWMP) has been developed to support the re-development of the existing building at 725 Westney Road South, Ajax, Ontario. Additionally, this plan has been prepared in accordance with the Town of Ajax's "Terms of Reference for a Construction and Demolition Waste Management Plan" and relevant provincial regulations. The CDWMP outlines waste management strategies that prioritize environmental sustainability and regulatory compliance.

The proposed development involves a two-storey addition to the northern portion of the existing structure, introducing a variety of features, including shooting ranges, classrooms, a restaurant, accessory retail space, a security office, and staff facilities. With an anticipated minimum waste diversion rate of 50%, the CDWMP emphasizes reducing, recycling, and reusing construction and demolition waste. Materials such as asphalt, concrete, drywall, metals, and glass will be managed through proper segregation, handling, and disposal methods to minimize environmental impact.

Key highlights of the CDWMP include:

1. Compliance with Regulatory Requirements: The plan adheres to the Ajax Green Standard (Tier 1), Ontario Regulation (O.Reg.) 103/94, and O.Reg. 347, ensuring waste handling meets both municipal and provincial guidelines.
2. Hazardous Waste Management: Stringent procedures are outlined for the safe handling, storage, and disposal of hazardous materials, including asbestos and lead-based products, in compliance with applicable regulations.
3. Waste Tracking and Documentation: A robust record-keeping system will track waste quantities, diversion rates, and disposal methods. This includes maintaining waste manifests, certificates of disposal, and facility documentation.
4. Training and Communication: On-site staff and subcontractors will receive training on waste management protocols, with ongoing monitoring to ensure adherence to the plan.
5. Recommendations: The plan outlines steps to achieve waste diversion targets, such as establishing clear communication protocols, engaging with licensed haulers and facilities, and implementing corrective measures for contamination.

By implementing this plan, the project aims to achieve sustainable waste management goals while ensuring compliance with all applicable regulations. A comprehensive Waste Management Report will be submitted post-construction, summarizing waste quantities, diversion rates, and overall performance.

1 Introduction

This Construction and Demolition Waste Management Plan (CDWMP) has been prepared in accordance with the requirements set forth in the Town of Ajax By the Lake *Terms of Reference for a Construction and Demolition Waste Management Plan (January 2023)*. It serves as a fundamental document, providing an overview of the approach to waste management in support of the re-development of the existing building at 725 Westney Road South ("the Project").

1.1 Project Description

The proposed development consists of a two storey addition to an existing building located at 725 Wesney Rd South. The redevelopment of the building will introduce a 15-lane traditional shooting range on the main floor and a seven (7) lane clay-house shotgun range on the second-storey. The development also proposes two (2) classrooms, a restaurant, a warehouse for storage, an accessory retail space, a security office, staff office spaces (including a staff room), a loading space and 24/7 CCTV security on the main floor of the Site.

The approximate number of users/residents/employees who would use the site when fully functional is 94.

The CDWMP for this redevelopment project is committed to achieving a minimum diversion rate of 50% for construction and demolition waste, in alignment with the Ajax Green Standard and Ontario Regulation (O.Reg.) 103/94. This includes the recycling, reuse, and salvage of asphalt, concrete, drywall, wood, metals, and glass, as well as proper disposal of non-recyclable materials to minimize environmental impact.

The implementation of the CDWMP will be overseen by the General Contractor, who will be designated as the lead contact for this report and waste management activities. Their responsibilities will include:

- Ensuring compliance with Ajax municipal by-laws and provincial regulations.
- Coordinating with contractors and waste haulers to ensure proper segregation, storage, and transportation of materials.
- Monitoring adherence to waste diversion targets and documenting all records of waste quantities and diversion rates.

Additionally, General Contractor will provide on-site training for staff and subcontractors, establish corrective measures in case of non-compliance, and submit progress reports as needed to ensure the plan is effectively executed.

1.2 Objective

The CDWMP will summarize the regulatory framework governing waste, including general principles and sustainable principles for the management of waste, compliance with best management practices (BMPs) and construction mitigation measures. The objective of the CDWMP is to minimize environmental impact and ensure compliance with local and provincial regulations through effective waste diversion, recycling, and disposal strategies.

2 Applicable Laws and Regulations

The management of waste materials should be carried out in accordance with the following laws, regulations and standards listed in **Table 2-1** below. The General Contractor for this Project must ensure that the applicable permits and licenses have been obtained and their conditions satisfied.

Table 2-1 Applicable Laws, Regulations and Standards

Applicable Area	Act, Regulation or Guideline	Description / Key Requirements
Waste Reduction and Diversion Requirements	Ajax Green Standard (AGS)	Requires compliance with Tier 1 waste and materials objectives, focusing on waste diversion through recycling and reuse.
Source Separation Programs	Ontario Regulation 103/94 under the Environmental Protection Act	Mandates source separation of recyclable construction and demolition materials (e.g., concrete, drywall, wood, metals).
Hazardous/Regulated Waste Management	Ontario Regulation 347 (General – Waste Management)	Governs the safe handling, storage, and disposal of hazardous materials like asbestos, lead-based products, and other toxic waste.
Construction and Demolition Activities	By-law Number 48-2023	Covers permitting requirements and responsibilities for waste management during construction and demolition in Ajax.
Construction and Demolition Permit Requirements	Building Code Act, 1992	Specifies permits required before the start of construction and demolition activities.
Qualifications for Waste Management Professionals	Town of Ajax Terms of Reference for Construction and Demolition Waste Management Plan	States the plan must be prepared by a qualified individual, signed by the author, and submitted in compliance with Ajax's guidelines.

Hazardous Waste Handling: All hazardous, chemical, or toxic waste generated during the demolition or construction will be managed in compliance with O.Reg. 347. Proper procedures for on-site storage, transport, and disposal at licensed facilities will be implemented to ensure safety and environmental compliance.

Staff Qualifications: The preparation and implementation of this CDWMP will be conducted by a qualified individual with expertise in waste management. This may include professionals holding certifications such as LEED Accredited Professional (LEED AP), Certified Environmental Professional (EP), or a Professional Engineer (P.Eng.) specializing in environmental or construction fields.

3 Terms and Definitions

The following terms are defined to ensure clarity and consistency in understanding the waste management practices outlined in this plan:

- **Waste Diversion Rate**: The percentage of waste materials diverted from landfill through recycling, reuse, or salvage initiatives.

- **Co-mingled Waste**: A collection of mixed waste streams transported to a sorting facility where recyclables are separated.
- **Contaminated Waste**: Waste materials mixed with hazardous substances, requiring specialized handling and disposal.
- **Source Separation**: The process of segregating waste materials on-site by type (e.g., concrete, drywall, metals) to facilitate recycling and efficient disposal, as required by O.Reg. 103/94.
- **Hazardous Waste**: Waste materials that pose potential threats to public health or the environment, including substances such as asbestos, lead-based paint, and electrical components, as defined under O.Reg. 347.
- **Recyclable Materials**: Waste materials such as concrete, wood, drywall, cardboard, and metal that can be processed and reused in new products, as outlined in the Ajax Green Standard.
- **Salvaged Materials**: Materials recovered during demolition or construction that can be reused directly, such as fixtures, steel components, or intact wood, in alignment with waste diversion goals.
- **Waste Management Professional**: A qualified individual responsible for planning, monitoring, and ensuring adherence to waste management regulations and objectives. Examples include professionals certified as Environmental Professionals (EP), LEED Accredited Professionals (LEED AP), or Professional Engineers (P.Eng.).
- **Hazardous Waste Handling Protocol**: Regulatory standards and processes for safely managing hazardous waste, as outlined under Ontario Regulation 347.
- **Ajax Green Standard (AGS)**: A set of sustainability objectives, including waste and materials management, aimed at reducing the environmental impact of construction and demolition projects.
- **Alternate Daily Cover (ADC)**: Material other than soil, such as processed construction debris, used to cover landfills daily. Note: ADC does not count toward waste diversion rates in Ajax.

4 Waste Prevention and Mitigation Measures

This CDWMP has been developed to provide management of general waste, hazardous waste and non-hazardous waste. The CDWMP describes the classification, segregation, safe handling and storage of wastes as well as details the documentation, record keeping and reporting systems to be maintained for effective waste management.

To ensure effective on-site waste management during the construction and demolition phases of the proposed development, the following waste prevention and mitigation measures will be implemented:

4.1 Waste Handling

Where feasible and practicable, materials that can be salvaged, recycled or reused will be removed from the construction waste stream and managed appropriately following waste management guidelines. Segregation of non-hazardous waste streams will happen on the site to maximize waste diversion and recycling. Separate stockpiles will be created for asphalt, concrete/rubble, scrap- ferrous and scrap – non-ferrous items to be removed from site for recycling or proper disposal.

As per the Tier 1 requirements of the Ajax Green Standard document, the General Contractor will plan and commit to reduce waste and increase demolition/construction waste diversion to a target of 50% of waste diversion by weight (excluding aggregate, fill and hazardous materials). The General Contractor will commit to adhere to the following waste management hierarchy: reduce generation of waste, reuse, return, or donate waste; recycle or compost waste; and dispose of waste.

Should any toxic and/or hazardous materials be used or produced as by-products of project demolition, they will be managed and disposed of in accordance with applicable regulations. The General Contractor will ensure that hazardous waste manifest documentation is completed, and haulers of hazardous waste have completed a project-specific orientation, if required, as well as current Transportation of Dangerous Goods training, where required.

Examples of materials that may be encountered during demolition include, but are not limited to:

- Asphalt
- Scrap metal
- Concrete debris
- Drywall
- Glass

Waste materials shall be removed and disposed of in accordance with the *Environmental Protection Act, Reg. 347 Waste Management*. Activities will be conducted in an environmentally responsible manner. The following steps will be followed:

- Ensure that an adequate number of appropriate waste containers are available. The General Contractor requires all spill clean-up material (e.g. used absorbent pads) be stored in lined containment drums and disposed of appropriately.
- Designate a safe area for temporary waste storage with adequate containment, secure and protected from wildlife and water until removal and disposal can be arranged.
- Categorize and label all waste materials appropriately. Effective segregation of waste categories as per waste management guidelines will be enforced by the General Contractor.
- Check to ensure that hazardous waste registration, storage, permit and transportation requirements are met, where applicable.
- Remove all waste materials from the site as soon as possible in accordance with all relevant bylaws.

4.2 Waste Storage

The following requirements and procedures shall be followed to ensure waste materials are managed adequately:

- Recyclable materials shall be stored separately for recycling.
- Domestic waste from site offices including food waste shall, as appropriate, be stored in closed containers for future removal and disposal.

- Waste must be stored in appropriate containers according to the type of materials and labelled appropriately. Solid waste, garbage, trash and debris shall only be deposited in the bins designated for pick up.
- No hazardous waste shall be placed into the bins for solid waste, garbage, trash and debris.
- Liquid wastes such as oils and lubricants shall be stored in a labelled tank or drum for disposal or recycling by an appropriately licensed hauler.
- All hazardous waste shall be placed in a secure area to prevent spills, unauthorized discharges, and in a location where it is unlikely to create a nuisance and facilitate off-site removal by a licensed hauler and disposal of at a licensed receiver.
- Any asbestos containing waste that is encountered will be double bagged, sealed and labeled. Temporary storage areas shall be secured and marked with signage.
- Designated waste storage areas throughout the project site should be identified, and the designated areas should be clearly marked with the type of waste stream that can be stored there.

4.3 Waste Disposal

The following general principles shall apply for the disposal of wastes:

- Surplus materials will be removed from the site promptly as they become surplus.
- There shall be no burying of rubbish and waste materials at the site.
- There shall be no disposal of waste, excess materials, chemicals, liquid waste, volatile materials, designated substances, hazardous materials, etc., at the site, on the ground surface, in excavations, into waterways, surface drainage features, sanitary sewers or storm sewers.
- There shall be no burning of waste generated at the site.
- There shall be no on-site disposal of hazardous wastes at the site.
- Non-recyclable, non-hazardous demolition/construction waste shall be removed from the site on an ‘as required’ basis for disposal at an approved waste disposal site.
- Domestic waste material shall be removed from the site on a regular basis.
- All waste shall be removed by a waste contractor that is licensed to transport the waste. At this time, it is expected that Miller Waste Systems will be the general waste hauler for this project, and they will take all applicable wastes generated to their nearest facility, as appropriate. Miller Waste Systems employs advanced sorting techniques to maximize recycling and waste diversion.
- All waste shall be disposed of at a facility licensed to accept such wastes.
- Any asbestos waste encountered will be disposed of at a dedicated facility, scale receipt can be obtained upon request.
- All hazardous waste removed from site shall receive a manifest attesting the proper removal and disposal of the waste in a designated approved facility.

4.4 Waste Management Procedures and Implementation

The following waste management procedures shall be implemented throughout the term of the project:

- The General Contractor will be provided with a copy of the CDWMP and will be expected to review and provide a description of how the plan will be implemented for the demolition and construction activities.
- The General Contractor will designate an on-Site party (or parties) responsible for instructing workers and overseeing and recording results of the CDWMP.
- The General Contractor is expected to distribute copies of this CDWMP to the Job Site Foreman, and each subcontractor.
- Waste prevention, reuse, and recycling activities and performance will be discussed at the beginning of each subtrade meeting. As each new contractor comes on-site, the designated person from the General Contractor will provide a tour of the recycling areas and describe separation procedures.
- The General Contractor will be expected to make sure that their entire crew complies with the CDWMP. All recycling containers will be clearly labelled and lists of acceptable or unacceptable materials will be posted throughout the site. The General Contractor is responsible for transporting their own recyclables to the designated area and carefully sorting them into the appropriate bins on a daily basis.
- Clearly designate recycling bins by colour coding and/or large identification signs.
- The General Contractor will also provide adequate documentation verifying compliance with the requirements established herein.
- The General Contractor will be responsible for ensuring that materials are delivered to site in containers or packaging that is reusable wherever possible. The General Contractor will be responsible for removing reusable packaging from the site and taking it back to the supplier – examples of this are glazing frames, block /brick pallets. Where packaging is not reusable it shall be recycled; cardboard will have its own recycling collection points. Wood crating, where not reusable, is to be placed in a clean wood bin.
- The General Contractor will prevent contamination of materials to be recycled.
- Source and handle materials consistent with requirements for acceptance by designated facilities.
- Provide individual waste bins for each recyclable solid waste material.
- Monitor performance on the use of acceptable methods of source separation.
- Place the recycling bins in convenient locations that are out of the way of construction traffic and Plant operations.
- Designate the recycling area on-Site to prevent misuse or contamination of bins.
- Recyclable materials shall be free of dirt, adhesives, solvents, petroleum contamination and other substances deleterious to recycling process.

- Arrange for collection by or delivery of recyclable materials to recycling companies that accept construction waste for recycling.
- Coordinate regular or “when-called” pick-up or delivery to prevent overflowing bins.

5 Expected Project Waste, Disposal and Handling

The following tables identify the typical waste and other materials that are expected to be generated on this Project, their quantities the disposal method for each material, any handling procedures and expected waste diversion rate. In addition to these minimum requirements, the General Contractor will make every effort to reuse/recycle additional materials at local recycling/reuse facilities. It should be noted that designated substances and soil materials excavated as part of this project are not covered under this plan.

Table 5-1 Expected Project Waste, Disposal and Handling - Demolition Phase

Type of Material	Estimated Quantity	Disposal Method	On-Site Handling Procedure	Estimated Waste Diversion rate (%)
Asphalt	Approx. 1,860 m²	Recycling at asphalt processor	Stockpiled in designated area	90-95
Concrete	Approx. 25-40 m³	Recycling at concrete recycler	Sorted and crushed, if feasible	80-90
Drywall	Approx. 3,175-6,350 kg	Recycling at gypsum recycling facility	Stored in covered bins	70-80
Metals	Approx. 1,590-3,175 kg	Recycling at metal facility	Stored in scrap bins	95-99
Glass	Approx. 635-1,590 kg	Recycling at glass processor	Stored securely	80-90
Electrical Components	Approx. 320-950 kg	Recycling (e-waste recycler)	Stored in labeled containers	70-85

Table 5-2 Expected Project Waste, Disposal and Handling - Construction Phase

Type of Material	Estimated Quantity	Disposal Method	On-Site Handling Procedure	Estimated Waste Diversion rate (%)
Concrete	Approx. 8-11.5 m³	Recycling at concrete recycler	Excess stored and crushed, if feasible	80-90
Drywall	Approx. 100-150 sheets	Recycling at gypsum recycling facility	Stored in covered bins	70-80
Wood	Approx. 0.7-1.4 m³	Reuse or recycling	Weather-protected storage	50-70
Metals	Approx. 450-900 kg	Recycling at metal recycling facility	Stored in scrap bins	95-99

Type of Material	Estimated Quantity	Disposal Method	On-Site Handling Procedure	Estimated Waste Diversion rate (%)
Packaging Materials	Approx. 5-10% of total material	Recycling	Segregated and flattened	80-90

6 Hazardous Materials Management

Materials that meet the definition of hazardous waste under Reg. 347 are designated as waste throughout the entirety of their management lifecycle and would be subject to the regulatory requirements applicable to hazardous waste under this regulation.

In the event that soil or other materials which are designated as hazardous waste are encountered, individuals trained in the management of hazardous materials will isolate and contain the impacted materials. Proper personal protective equipment (PPE) which may include use of coveralls, aprons, footwear, gloves, chemical resistant glasses, face shields and respirators in addition to regular PPE are to be used at all times.

Materials are to be transferred into a standard 200 L steel drum for hazardous waste transportation and prompt disposal at a licensed hazardous waste facility. All equipment used will need to be decontaminated and wash water will separately be managed as a hazardous liquid, or equipment can be subject to off-site decontamination.

Any hazardous materials identified will need to be registered with the Hazardous Waste Program (HWP) Registry. The General Contractor will create an HWP generator registration and assume the responsibilities of the Operator of the waste generation facility as defined in Reg. 347.

7 Record Keeping

Effective record keeping is essential for monitoring and tracking waste associated with the demolition and construction phases of the proposed development. This section outlines procedures to ensure all waste-related activities are documented, compliant with regulatory standards, and available for review.

Waste Tracking Systems

- **Recycling**: Records will be maintained for all materials sent for recycling, detailing:
    - Type of material (e.g., concrete, drywall, metals).
    - Quantity and weight of materials recycled.
    - Destination (facility name and location).
    - Diversion rates achieved (specific to the project or facility average, excluding Alternate Daily Cover).
- **Reuse**: Documentation of materials salvaged or repurposed will include:
    - List of items (e.g., wood, fixtures).
    - Intended reuse destination or purpose.
    - Quantities salvaged.

- **Disposal**: Waste disposed of in landfills or other approved facilities will be tracked, with records detailing:
    - Material type (e.g., hazardous waste, non-recyclable debris).
    - Facility name and license number.
    - Certificates of disposal.

Hazardous Waste Management

All hazardous waste will be tracked separately and will not count toward waste diversion rates. Specific details include:

- Identification of hazardous materials (e.g., asbestos, lead-based paint).
- Date and method of removal.
- Hauler documentation, including Transportation of Dangerous Goods training and orientation records (if applicable).
- Manifest documentation verifying proper disposal at licensed facilities.

Frequency of Collection

Construction and demolition waste will be collected:

- **Regular Schedule**: Weekly or bi-weekly collections will ensure waste is promptly removed.
- **On-Demand**: Additional pickups will be arranged as required to prevent overflow or contamination.

Co-mingled Waste

For any co-mingled waste sent to sorting facilities, records will include:

- Diversion rates specific to this project or facility average.
- Details on sorting facility processes and technologies used to achieve diversion.
- Exclusion of Alternate Daily Cover from recycling rates.

Reporting and Documentation

A centralized waste tracking log will be maintained by the General Contractor, recording:

- Dates of waste collection and transportation.
- Quantities and destinations of recycled, salvaged, and disposed materials.
- Certificates of compliance from sorting facilities and recyclers.

Post-construction, a comprehensive Waste Management Report will summarize:

- Total quantities of waste generated during demolition and construction phases.
- Overall diversion rates achieved.

8 Communications Plan

The CDWMP will be communicated effectively to on-site staff, contractors, and subcontractors to ensure proper implementation and compliance. Prior to the commencement of construction activities, all personnel will undergo mandatory pre-construction training sessions. These sessions will cover waste management protocols, including procedures for segregating waste streams, handling hazardous materials, and labeling and storing waste. Newly inducted subcontractors will receive an orientation upon joining the project, during which the General Contractor will provide a tour of waste storage areas and recycling points. Detailed instructions on acceptable and unacceptable materials for recycling will also be provided.

To maintain adherence to the CDWMP, the General Contractor will conduct regular inspections to monitor waste segregation and disposal practices. If contamination is detected within waste streams, immediate corrective measures will be implemented. This includes retraining personnel and updating signage to clarify waste separation procedures. Weekly meetings will be held with subcontractors to evaluate waste diversion progress, discuss challenges, and reinforce compliance requirements.

The General Contractor will assign an on-site individual responsible for overseeing waste management activities. This designated party will ensure daily compliance with the CDWMP, record waste quantities and diversion rates, and provide periodic progress reports to stakeholders, including Town of Ajax staff as required. Clear signage will be posted throughout the project site, including color-coded bins and labeled storage areas. These visual aids will assist workers in following waste management protocols and identifying appropriate disposal methods.

Additionally, the waste diversion performance will be shared with key stakeholders at defined project milestones. Feedback from these stakeholders will be integrated into the waste management plan to address evolving challenges and improve implementation. By fostering effective communication and accountability, this plan ensures that all personnel involved in the project contribute to achieving waste diversion and management goals.

9 Conclusions/Recommendations

This CDWMP outlines a comprehensive strategy to address waste management during the demolition and construction phases of the proposed development. The plan adheres to industry BMPs, the Ajax Green Standard Tier 1 requirements, and Ontario Regulations, including O. Reg. 103/94 and O. Reg. 347. It prioritizes waste reduction, recycling, reuse, and proper disposal, while ensuring that hazardous and regulated waste is handled in compliance with applicable laws. It should be noted that designated substances and soil materials excavated as part of this project are not covered under this plan.

Key conclusions of the plan include the identification of expected waste types, quantities, disposal methods, on-site handling procedures, and waste diversion rates. Effective waste prevention and mitigation measures, record-keeping systems, and communication protocols have been proposed to ensure proper implementation and monitoring of the plan.

The following recommendations are made to further strengthen waste management practices:

1. Establish a clear waste tracking and documentation system to accurately monitor waste diversion rates and ensure compliance.
2. Prioritize training and engagement of on-site personnel to reinforce adherence to waste segregation, handling, and disposal procedures.

3. Conduct regular site inspections to identify and address any instances of non-compliance or contamination within waste streams.
4. Partner with licensed waste haulers and sorting facilities that employ advanced technologies to maximize recycling and diversion efforts.
5. Implement corrective measures promptly to resolve any challenges encountered during the execution of the plan.

This plan provides the framework necessary to achieve a minimum 50% waste diversion target (excluding aggregate, fill, and hazardous materials), while supporting environmental sustainability and compliance with the Town of Ajax's waste management goals.

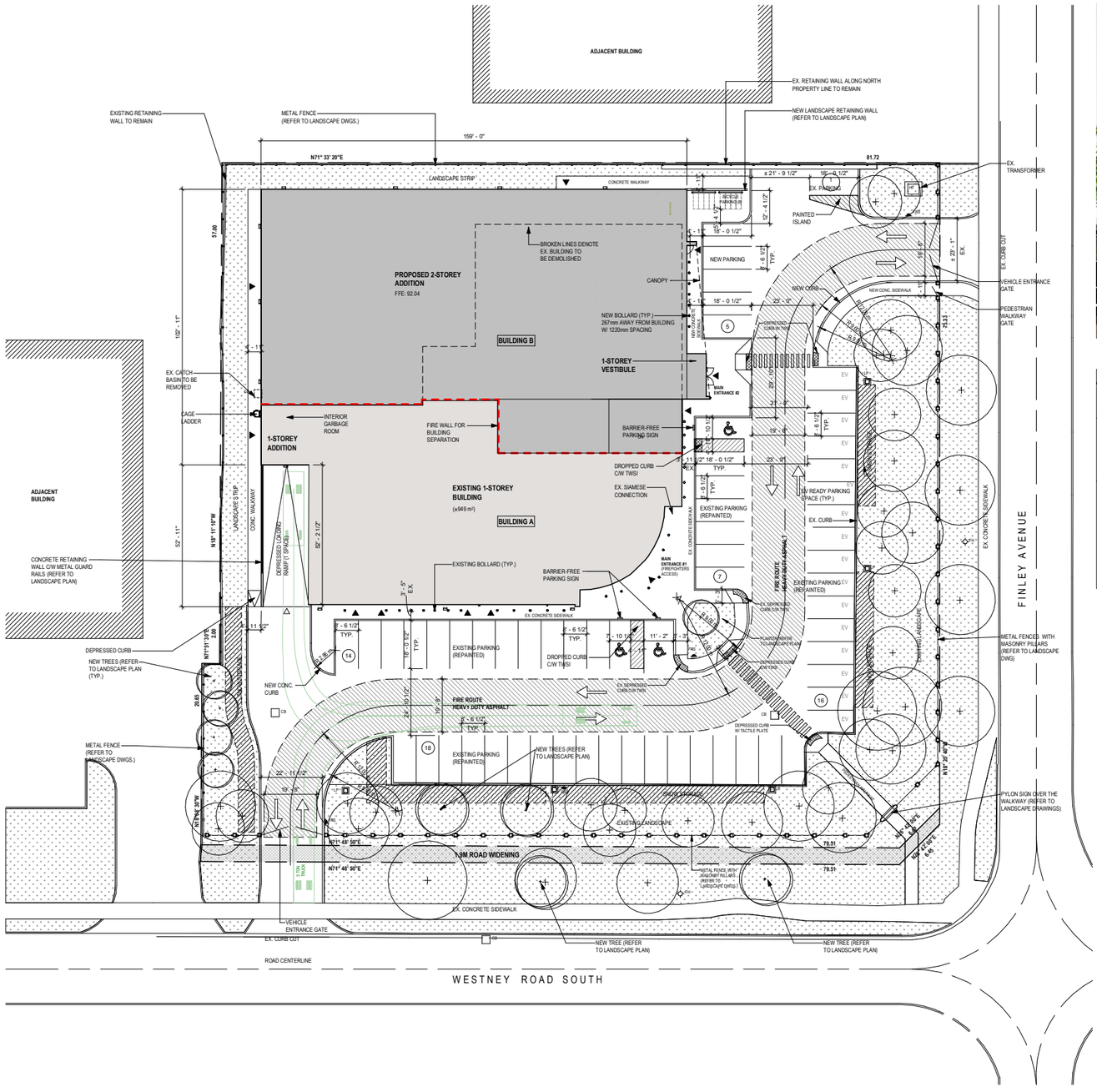
Any limitations related to waste estimation or unforeseen challenges in implementation will be documented and addressed through ongoing consultation with Town of Ajax staff and project stakeholders. Post-construction, a Waste Management Report will be submitted to summarize waste quantities, diversion rates, and the overall performance of the waste management strategy.

APPENDIX A

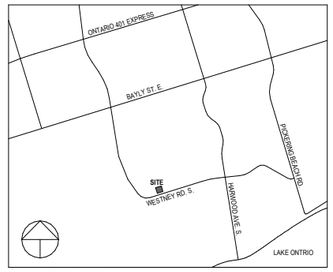
Architecture Drawing Set

FIREARMS OUTLET CANADA
INTERIOR RENOVATION & ADDITION

725 WESTNEY ROAD SOUTH
AJAX, ONTARIO L1S 7J7



1 SITE PLAN
1" = 20'-0"



LOCATION MAP

SITE STATISTICS			
LOT AREA: ±6,563.15 m² DEVELOPABLE (NET) LOT AREA: 6,324.71 m² ZONING CATEGORY: PE			
SETBACKS	FRONT YARD:	±26.1m	
	EXTERIOR SIDE YARD:	27.1m	
	INTERIOR SIDE YARD:	4.5m	
	REAR YARD:	3.0m	
BUILDING AREA	EXISTING: ±854 m² (9191 SF)		
	ADDITION: 1,314 m² (14,144 SF)		
	TOTAL: 2,168 m² (23,335 SF)		
GFA	EXISTING: ±854 m² (9191 SF)		
	ADDITION	GROUND FLOOR: 1,314 m² (14,144 SF)	
		SECOND FLOOR: 1,207 m² (13,001 SF)	
		TOTAL: 2,521 m² (27,145 SF)	
	TOTAL: 3,375 m² (36,336 SF)		
LOT COVERAGE	33.9%		
FSI	0.53		
BUILDING HEIGHT	46 FT		
GFA BREAKDOWN	RETAIL: 271 m² (8% OF GFA)		
	OFFICES: 84.2 m²		
	CLASSROOMS: 96 m²		
	WASHROOMS: 67 m²		
	VESTIBULES: 20 m²		
	SECURITY ROOM: 17 m²		
	STAFF/LUNCH ROOM: 8 m²		
	LOBBY: 60 m²		
	RESTAURANT: 245 m²		
	LOADING: 24 m²		
	WAREHOUSE: 311 m²		
	SHOOTING RANGES: TRADITIONAL RANGE: 625 m² (BOOTHS:56 m²)(15 LANES) CLAYHOUSE SHOTGUN RANGE: 1,059 m² (BOOTHS: 89 m²)(8 LANES) **TOTAL: 1,684 m² (BOOTHS: 145 m²)(23 LANES)**		
	OTHER SPACES: 448 m² (CORRIDOR/MECH ROOM/ELEC ROOM STORAGE/ JANITOR/STAIRS/ LOBBY)		
PARKING	REQUIRED	RETAIL: 10 SPACES (1 PER 28m²)	
		CLASSROOMS: 5 SPACES (1 PER 20m²)	
		WAREHOUSE: 1 SPACE (1 PER 500m²)	
		RESTAURANT: 25 SPACES (1 PER 10m²)	
		SHOOTING RANGES: 21 SPACES (0.92 PER LANE)	
		TOTAL: 61 SPACES	
	PROVIDED	61 SPACES (INCLUDING 3 BARRIER-FREE PARKING SPACES) (INCLUDING 16 EV READY PARKING SPACES)	
BICYCLE PARKING	PROVIDED	8 SPACES (SHORT TERM)	
SNOW STORAGE	PROVIDED	206 m²	
PAVED AREA	2,126 m²		
LANDSCAPED AREA	1,978 m² (31% LOT AREA)		
SOFT LANDSCAPE	1,415 m² (71.5% LANDSCAPED AREA)		

LEGEND

- PROPERTY LINE
- MEN DOOR (ENTRANCES & EXITS)
- TRUCK ENTRANCES
- HYDRO TRANSFORMER
- FH — FIRE HYDRANT
- CB — CATCH BASIN
- FIRE DEPARTMENT CONNECTION
- FRS — FIRE ROUT SIGN
- XX — INDICATE NUMBER OF PARKING SPACES
- ACCESSIBLE PARKING SPACES
- LP — LIGHT POLE (REFER TO ELEC. PLAN)
- FIRE WALL SEPERATION

No.	Date:	Issued/Revision:	By
15	03/19/2025	ISSUED FOR SPA	HW
14	09/17/2024	ISSUED FOR REVIEW	HW
13	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
12	06/12/2024	ISSUED FOR COORDINATION	HW
11	06/05/2024	ISSUED FOR COORDINATION	HW
10	05/29/2024	ISSUED FOR COORDINATION	HW
9	05/03/2024	ISSUED FOR COORDINATION	HW
8	04/09/2024	ISSUED FOR COORDINATION	HW
7	12/19/2023	ISSUED FOR REVIEW	HW
6	12/18/2023	ISSUED FOR COORDINATION	HW
5	12/08/2023	ISSUED FOR REVIEW	HW
4	11/21/2023	ISSUED FOR REVIEW	HW
3	11/06/2023	ISSUED FOR REVIEW	HW
2	07/18/2023	ISSUED FOR REVIEW	HW
1	07/17/2023	ISSUED FOR REVIEW	HW

Client:

FIREARMS OUTLET CANADA

WANG ARCHITECTS INC.
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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

SITE PLAN

Scale :	As indicated	Project No :	00026
Drawn by :	ZC	Drawing No :	A1.1
Checked by :	HW		

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NAME OF PRACTICE: WANG ARCHITECTS INC.
NAME OF PROJECT: FIREARMS OUTLET CANADA
PROJECT LOCATION: 725 WESTNEY ROAD SOUTH
AJAX, ONTARIO L1S 7J7

ONTARIO BUILDING CODE DATA MATRIX
PART 3 (BUILDING "A" EXISTING)

			BUILDING CODE REFERENCE
3.01	PROJECT TYPE:	☐ NEW CONSTRUCTION ☐ ADDITION ☐ RENOVATION ☐ CHANGE OF USE ☒ ADDITION AND RENOVATION	[A] 1.1.2.2.
3.02	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY: GROUP F, DIVISION 1 HIGH HAZARDOUS INDUSTRIAL OCCUPANCY GROUP E, MERCANTILE OCCUPANCIES USE: WAREHOUSE & RETAIL	3.1.2.
3.03	SUPERIMPOSED MAJOR OCCUPANCIES:	☒ NO ☐ YES	3.2.2.7.
3.04	BUILDING AREA (M²)	DESCRIPTION: EXISTING ± 811.4 M² NEW 39.6 M² TOTAL 851 M²	[A] 1.4.1.2.
3.05	GROSS AREA (M²)	EXISTING NEW TOTAL GROUND FLOOR ± 811.4 M² 39.6 M² 851 M² TOTAL	[A] 1.4.1.2.
3.07	BUILDING HEIGHT	1 STOREYS ABOVE GRADE 6.48m ABOVE GRADE	[A] 1.4.1.2. & 3.2.1.1.
3.08	HIGH BUILDING	☒ NO ☐ YES	3.2.6.
3.09	NUMBER OF STREETS/ FIREFIGHTER ACCESS	2 STREETS	3.2.2.10. & 3.2.5.
3.10	BUILDING CLASSIFICATION	3.2.2.74 GROUP F, DIVISION 1, UP TO 2 STOREYS, SPRINKLERED	3.2.2.20 - 83.
3.11	SPRINKLER SYSTEM	☒ REQUIRED ☐ NOT REQUIRED PROVIDED ☒ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREA ☐ BASEMENT ☐ IN LIEU OF ROOF RATING ☐ NONE	3.2.1.5. & 3.2.2.17., 3.2.2.18., 3.2.4.8. TO 3.2.4.10., AND 3.2.5.13
3.12	STANDPIPE SYSTEM	☐ REQUIRED ☒ NOT REQUIRED	3.2.9.
3.13	FIRE ALARM SYSTEM	☒ REQUIRED ☐ NOT REQUIRED TYPE PROVIDED: ☐ SINGLE STAGE ☐ TWO STAGE ☐ NONE	3.2.4.
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	☐ NO ☒ YES	3.2.5.7.
3.15	CONSTRUCTION TYPE:	RESTRICTION: ☒ COMBUSTIBLE PERMITTED ☐ NON-COMBUSTIBLE REQUIRED ☐ ENCAPSULATED MASS TIMBER ACTUAL: ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE ☐ COMBINATION OF COMBUSTIBLE AND NON-COMBUSTIBLE ☐ ENCAPSULATED MASS TIMBER ☐ COMBINATION OF ENCAPSULATED MASS TIMBER AND NON-COMBUSTIBLE HEAVY TIMBER CONSTRUCTION: ☒ NO ☐ YES	3.2.2.20.-83. & 3.2.1.4.
3.16	IMPORTANCE CATEGORY:	☐ LOW ☐ LOW HUMAN OCCUPANCY ☐ POST-DISASTRE SHELTER ☒ NORMAL ☐ HIGH ☐ MINOR STORAGE BUILDING ☐ EXPLOSIVE OR HAZARDOUS SUBSTANCES ☐ POST-DISASTER	4.1.2.1.(3) & T4.1.2.1.B
3.18	OCCUPANT LOAD (ADDITION ONLY)	FLOOR LEVEL/AREA: RETAIL AND WHARE HOUSE OCCUPANCY TYPE: E & F1 BASED ON: DESIGN LOAD OCCUPANT LOAD (PERSONS): 48 TOTAL: 48	3.1.17 AND 3.1.17.1.(2)
3.19	BARRIER-FREE DESIGN: BARRIER-FREE ENTRANCES:	☐ NO ☒ YES NUMBER: 1	3.8. 3.1.8.2.
3.20	HAZARDOUS SUBSTANCES:	☐ NO ☒ YES	3.3.1.2. & 3.3.1.19.
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY / RATING (H) / SUPPORTING ASSEMBLY (H) / NON/COMBUSTIBLE IN LIEU OF RATING? STOREYS BELOW GRADE N/A N/A ☐ NO ☐ YES ☒ N/A FLOORS OVER BASEMENT N/A N/A ☐ NO ☐ YES ☒ N/A FLOORS N/A N/A ☐ NO ☐ YES ☒ N/A MEZZANINE N/A N/A ☐ NO ☐ YES ☒ N/A ROOF N/A N/A ☐ NO ☐ YES ☒ N/A	3.2.2.20.-83., 3.2.1.2., 3.2.1.4., 3.2.2.15.
3.22a	SPATIAL SEPARATION	EXPOSING BUILDING FACE / EBF AREA (M²) / L.D. (M) / L/H / REQUIRED FRR (H) / % UNPROTECTED OPENINGS PERMITTED / % UNPROTECTED OPENINGS PROVIDED NORTH - - - - - - - EAST - - - - - - - SOUTH - - - - - - - WEST 166 10.19 3.7:1 1 60 1.8	3.2.3.
3.23a	PLUMBING FIXTURE REQUIREMENTS:	RATIO: MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE WATER CLOSETS REQUIRED: (EXISTING) WHARE HOUSE & RETAIL : 2 FIXTURE FOR MALES, 2 FIXTURE FOR FEMALES TOTAL: : 2 FIXTURES FOR MALES, 2 FIXTURES FOR FEMALES, WATER CLOSETS PROVIDED: 1 FIXTURES FOR MALES, 1 FIXTURES FOR FEMALES (SHARE WITH THE PROPOSED EXTENTSION PLUMBING FIXTURE) 1 UNIVERSAL WASHROOM	3.7.4., 3.8.2.3.

NAME OF PRACTICE: WANG ARCHITECTS INC.
NAME OF PROJECT: FIREARMS OUTLET CANADA
PROJECT LOCATION: 725 WESTNEY ROAD SOUTH
AJAX, ONTARIO L1S 7J7

ONTARIO BUILDING CODE DATA MATRIX
PART 3 (BUILDING "B" NEW)

			BUILDING CODE REFERENCE
3.01	PROJECT TYPE:	☐ NEW CONSTRUCTION ☐ ADDITION ☐ RENOVATION ☐ CHANGE OF USE ☒ ADDITION AND RENOVATION	[A] 1.1.2.2.
3.02	MAJOR OCCUPANCY CLASSIFICATION:	OCCUPANCY: GROUP A, DIVISION 2 ASSEMBLY OCCUPANCY USE: SHOOTING RANGE & RESTAURANT	3.1.2.
3.03	SUPERIMPOSED MAJOR OCCUPANCIES:	☒ NO ☐ YES	3.2.2.7.
3.04	BUILDING AREA (M²)	DESCRIPTION: EXISTING - NEW 1,284 M² TOTAL 1,284 M²	[A] 1.4.1.2.
3.05	GROSS AREA (M²)	EXISTING NEW TOTAL GROUND FLOOR - 1,284 M² 1,284 M² SECOND FLOOR - 1,187 M² 1,187 M² TOTAL - 2,471 M² 2,471 M²	[A] 1.4.1.2.
3.07	BUILDING HEIGHT	2 STOREYS ABOVE GRADE 14.55m ABOVE GRADE 0 STOREY BELOW GRADE	[A] 1.4.1.2. & 3.2.1.1.
3.08	HIGH BUILDING	☒ NO ☐ YES	3.2.6.
3.09	NUMBER OF STREETS/ FIREFIGHTER ACCESS	2 STREETS	3.2.2.10. & 3.2.5.
3.10	BUILDING CLASSIFICATION	3.2.2.26 GROUP A, DIVISION 2, UP TO 2 STOREYS, INCREASED AREA, SPRINKLERED	3.2.2.20 - 83.
3.11	SPRINKLER SYSTEM	☒ REQUIRED ☐ NOT REQUIRED PROVIDED ☒ ENTIRE BUILDING ☐ SELECTED COMPARTMENTS ☐ SELECTED FLOOR AREA ☐ BASEMENT ☐ IN LIEU OF ROOF RATING ☐ NONE	3.2.1.5. & 3.2.2.17., 3.2.2.18., 3.2.4.8. TO 3.2.4.10., AND 3.2.5.13
3.12	STANDPIPE SYSTEM	☐ REQUIRED ☒ NOT REQUIRED	3.2.9.
3.13	FIRE ALARM SYSTEM	☒ REQUIRED ☐ NOT REQUIRED TYPE PROVIDED: ☐ SINGLE STAGE ☐ TWO STAGE ☐ NONE	3.2.4.
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	☐ NO ☒ YES	3.2.5.7.
3.15	CONSTRUCTION TYPE:	RESTRICTION: ☒ COMBUSTIBLE PERMITTED ☐ NON-COMBUSTIBLE REQUIRED ☐ ENCAPSULATED MASS TIMBER ACTUAL: ☐ COMBUSTIBLE ☒ NON-COMBUSTIBLE ☐ COMBINATION OF COMBUSTIBLE AND NON-COMBUSTIBLE ☐ ENCAPSULATED MASS TIMBER ☐ COMBINATION OF ENCAPSULATED MASS TIMBER AND NON-COMBUSTIBLE HEAVY TIMBER CONSTRUCTION: ☒ NO ☐ YES	3.2.2.20.-83. & 3.2.1.4.
3.16	IMPORTANCE CATEGORY:	☐ LOW ☐ LOW HUMAN OCCUPANCY ☐ POST-DISASTRE SHELTER ☒ NORMAL ☐ HIGH ☐ MINOR STORAGE BUILDING ☐ EXPLOSIVE OR HAZARDOUS SUBSTANCES ☐ POST-DISASTER	4.1.2.1.(3) & T4.1.2.1.B
3.18	OCCUPANT LOAD (ADDITION ONLY)	FLOOR LEVEL/AREA: RESTAURANT & STAFF; SHOOTING RANGES, CLASSROOM & OFFICE OCCUPANCY TYPE: A2; A2 BASED ON: DESIGN LOAD; DESIGN LOAD OCCUPANT LOAD (PERSONS): 140, EMPLOYEE 5; 50 TOTAL: 195	3.1.17 AND 3.1.17.1.(2)
3.19	BARRIER-FREE DESIGN: BARRIER-FREE ENTRANCES:	☐ NO ☒ YES NUMBER: 2	3.8. 3.1.8.2.
3.20	HAZARDOUS SUBSTANCES:	☐ NO ☒ YES	3.3.1.2. & 3.3.1.19.
3.21	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY / RATING (H) / SUPPORTING ASSEMBLY (H) / NON/COMBUSTIBLE IN LIEU OF RATING? STOREYS BELOW GRADE N/A N/A ☐ NO ☐ YES ☐ N/A FLOORS OVER BASEMENT N/A N/A ☐ NO ☐ YES ☐ N/A FLOORS N/A N/A ☐ NO ☐ YES ☐ N/A MEZZANINE N/A N/A ☐ NO ☐ YES ☐ N/A ROOF N/A N/A ☐ NO ☐ YES ☐ N/A	3.2.2.20.-83., 3.2.1.2., 3.2.1.4., 3.2.2.15.
3.22a	SPATIAL SEPARATION	EXPOSING BUILDING FACE / EBF AREA (M²) / L.D. (M) / L/H / REQUIRED FRR (H) / % UNPROTECTED OPENINGS PERMITTED / % UNPROTECTED OPENINGS PROVIDED NORTH 609 3.0 3.7:1 2 22 0.16 EAST N/A - - - - - SOUTH N/A - - - - - WEST 363 10.19 3.7:1 2 50 1.65	3.2.3.
3.23a	PLUMBING FIXTURE REQUIREMENTS:	RATIO: MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE WATER CLOSETS REQUIRED: CLASSROOM, OFFICE AND SHOOTING RANGE: : 1 FIXTURE FOR MALES, 1 FIXTURE FOR FEMALES RESTAURANT : 2 FIXTURES FOR MALES, 2 FIXTURES FOR FEMALES EMPLOYEE : 1 FIXTURE FOR BOTH FEMALES AND MALES TOTAL: 3 FIXTURES FOR MALES, 3 FIXTURES FOR FEMALES, 1 FIXTURE FOR RESTAURANT EMPLOYEES WATER CLOSETS PROVIDED: 3 FIXTURES FOR MALES, 3 FIXTURES FOR FEMALES, 1 UNIVERSAL WASHROOM 1 FIXTURE FOR RESTAURANT EMPLOYEES	3.7.4., 3.8.2.3.

ABBREVIATIONS

ACST.	ACOUSTIC	L.	LENGTH
A.F.F.	ABOVE FINISHED FLOOR	LAD.	LADDER
AL.	ALUMINUM	LAV.	LAVATORY
AP	ACCESS PANEL	LP	LOW POINT
AVG.	AVERAGE	LTG.	LIGHTING
&	AND		
@	AT SPACEING	M.	METER
		MACH.	MACHINE
BLDG.	BUILDING	MATL.	MATERIAL
BOT.	BOTTOM	MAX.	MAXIMUM
BM.	BEAM	MECH.	MECHANICAL
		MEMB.	MEMBRANE
CB	CATCH BASIN	MH	MAN HOLE
CH	CEILING HEIGHT	min.	MINUTES
CL	CENTERLINE	MIN.	MINIMUM
CLG.	CEILING	MISC.	MISCELLANEOUS
CLKG.	CAULKING	MET.	METAL
CONC.	CONCRETE		
CONT.	CONTINUOUS	NO. OR #	NUMBER
CORR.	CORRIDOR		
CT	CERAMIC TILE	OBC	ONTARIO BUILDING CODE
		OC	ON CENTER
DET.	DETAIL	OH	OVERHEAD
DIA.	DIAMETER	OPNG.	OPENING
DIM.	DIMENSION	OPP.	OPPOSITE
DIST.	DISTANCE	O.T.B.	OPEN TO BELOW
DN	DOWN		
DWG.	DRAWING	/	PER
DS.	DOWNSPOUT	POD	POWER DOOR OPERATOR
DEPT.	DEPARTMENT	PT	PAINT
		PWD	PLYWOOD
EL.	ELEVATION		
ELEC.	ELECTRICAL	QTY.	QUANTITY
ELEV.	ELEVATOR		
EMER.	EMERGENCY	R.	RADIUS
ENT.	ENTRANCE	RC	REINFORCED CONCRETE
EQ.	EQUAL	RD	ROOF DRAIN
EQUIP.	EQUIPMENT	REF.	REFERENCE
EX.	EXISTING	RM	ROOM
EXH.	EXHAUST	RO	ROUGH OPENING
EXT.	EXTERIOR		
		SEC.	SECOND
FD	FLOOR DRAIN	SPEC.	SPECIFICATION
FF	FINISHED FLOOR	SQ.	SQUARE
FFL	FINISHED FLOOR LEVEL	STL.	STEEL
FIN.	FINISH	STRUC.	STRUCTURAL
FIX.	FIXTURE	SYM.	SYMBOL
FL.	FLOOR		
FRR	FIRE-RESISTANCE RATING	THK.	THICKNESS
		TYP.	TYPICAL
GALV.	GALVANIZED	TOC	TOP OF CONCRETE
GEN.	GENERAL	TOS	TOP OF STEEL
GL	GROUND LEVEL	TWSI	TACTILE WALKING SURFACE INDICATORS
GLS.	GLASS		
GYP.	GYPSUM	UNO	UNLESS NOTED OTHERWISE
		U/S	UNDERSIDE
HM	HOLLOW METAL		
HOR.	HORIZONTAL	VENT.	VENTILATION
HP	HIGH POINT	VER.	VERTICAL
HT.	HEIGHT		
HVAC	HEATING, VENTILATION AND AIR CONDITIONING	WD.	WOOD
		WR.	WASHROOM
		W/	WITH
INSUL.	INSULATED	W/O	WITHOUT
INT.	INTERIOR		
JAN.	JANITOR		

GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH RULES AND REGULATIONS FOR CONSTRUCTION WITHIN THE BUILDING AS SET OUT IN THE ONTARIO BUILDING CODE.
2. THESE DRAWINGS ARE NOT FOR CONSTRUCTION UNTIL A PERMIT IS ISSUED BY MUNICIPALITY.
3. GENERAL CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS.
4. THESE DRAWINGS MUST NOT BE SCALED. DIMENSIONS ARE SHOWN IN MILLIMETERS. ELEVATIONS AND COORDINATES ARE IN METERS. UNLESS NOTED OTHERWISE ON THE DRAWINGS.
5. THE CONTRACTOR SHALL VERIFY ALL LEVEL, BUILDING WORKPOINT COORDINATES DATUM AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES MUST BE REPORTED TO THE ARCHITECT IMMEDIATELY.
6. ANY REVISIONS TO THE DOCUMENTS OR CHANGES PRIOR TO, DURING, OR AFTER CONSTRUCTION THAT ARE DONE WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT SHALL NOT BE RESPONSIBILITY OF THE ARCHITECT.
7. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS, INTERFACE BETWEEN DISCIPLINES (CIVIL, STRUCTURAL, PLUMBING, MECHANICAL HVAC AND ELECTRICAL) AND WORK BETWEEN ALL TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION WITH THE BUILDING MATERIALS SUPPLIERS, OTHER TRADES AND THE CONTRACTOR'S PROJECT FIELD REPRESENTATIVES.
9. GENERAL CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR ALL BUILDING COMPONENTS TO ARCHITECT AND ENGINEERS FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BEAR THE SEAL OF A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO UNLESS ALTERNATE ARRANGEMENTS HAVE BEEN PREVIOUSLY AGREED UPON.
10. INSTALL ONLY NEW MATERIALS AND EQUIPMENT IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTION AND SPECIFICATIONS.

CONSTRUCTION NOTES

1. ALL EXISTING COLUMNS, BEAMS AND ROOF JOISTS SHALL REMAIN INTACT UNLESS OTHERWISE INDICATED.
2. GENERAL CONTRACTOR TO CUT OPENINGS ON EXISTING EXTERIOR WALLS FOR NEW DOORS. GENERAL CONTRACTOR TO ENSURE THE CUT IS NEAT AND CLEAN, NOT DAMAGING ADJACENT WALLS, FLOORS AND CEILINGS.
3. GENERAL CONTRACTOR TO ENSURE ALL FLOOR AREAS ARE FREE OF DEBRIS AND HAZARDOUS MATERIAL AFTER DEMOLITION IS COMPLETED.
4. STUD PARTITION FRAMING TO BE MINIMUM 20 GAUGE UNLESS OTHERWISE NOTED.
5. GENERAL CONTRACTOR TO PROVIDE GYPSUM WALL BOARD CONTROL JOINTS IN ALL WALLS. CONTROL JOINTS TO BE STRAIGHT, CONTINUOUS AND INSTALLED 30 FEET OC MAX..
6. APPLY PREVENTIVE PEST CONTROL POWDER IN ALL STUD WALL TRACKS, PIPE SPACES AND OTHER CONCEALED SPACES WITHIN STUD PARTITIONS. REFER TO SPECIFICATIONS.
7. PROVIDE FIBERGLASS SOUND ATTENUATION BATT IN ALL SUITE PARTITIONS AND AREA WHERE THERE IS MECHANICAL EQUIPMENT.
8. PROVIDE FIBERGLASS SOUND ATTENUATION BATT IN ALL PLUMBING SPACE WITH VERTICAL SANITARY STACK PIPE.
9. CONCRETE BLOCK WALL AND PARTITION NOTES:
   - ALL CONCRETE BLOCK PARTITIONS AND WALLS TO EXTEND TO U/S OF FLOOR OR ROOF SLAB ABOVE, UNLESS OTHERWISE INDICATED.
   - PROVIDE COMPRESSIBLE JOINT FILLER CONTINUOUS AT TOP OF ALL BLOCK WALLS AND PARTITIONS.
   - CAULK JOINT WHERE EXPOSED.
   - PROVIDE FIRESTOP AND SMOKE SEALS AT PERIMETER JOINTS AND PENETRATIONS IN FIRE RATED PARTITIONS.
   - PROVIDE LATERAL BRACING AT TOP OF CONCRETE BLOCK WALLS AND PARTITIONS. REFER TO STRUCTURAL DRAWINGS FOR DETAILS.
10. WASHROOM TO BE PROVIDED WITH EXHAUST VENT DIRECTLY TO OUTSIDE WITH MIN. 1 AIR EXCHANGE PER HOUR.(REFER TO MECH. DWGS) TAPE AND INSULATE WITH MIN. RSI 1.4 (R8) AT WHERE DUCT PASSES THROUGH COLD SPACES. PROVIDE EXTERIOR WALL CAP COMPLETE WITH INSECT SCREEN.
11. PROVIDE SOUND ATTENUATION BATT INSULATION IN ALL WASHROOM CEILINGS.
12. PROVIDE PLYWOOD BACKING IN WASHROOMS FOR GRAB BAR IN WASHROOMS.
13. TRANSPARENT DOORS AND PANELS IN PUBLIC AREAS SHALL BE OF TEMPERED GLASS OR LAMINATED GLASS AND SHALL BE APPROVED BY ATTACHING NON-TRANSPARENT HARDWARE AS REQUIRED BY 3.3.1.18 OBC.
14. NEW WINDOWS AND DOORS
   - ALL WINDOWS SHALL BE THERMALLY BROKEN, LOW-E ALUMINUM WINDOWS
   - SEAL EXTERIOR WINDOW AND DOOR FRAMES WITH FOAMED IN-PLACE AIR SEALANT.
15. GUARD RAIL DESIGN TO MEET REQUIREMENTS OF PART 4.1.5.15 OF THE OBC.
16. TRANSPARENT DOORS AND PANELS IN PUBLIC AREAS SHALL BE CONSTRUCTED WITH TEMPERED GLASS OR LAMINATED GLASS, AND SHALL BE APPROVED BY ATACHING NON-TRANSPARENT HARDWARE AS REQUIRED BY OBC 3.3.1.18.
17. ALL FIXTURES IN WASHROOMS SHALL BE INSTALLED COMPLYING WITH OBC REQUIREMENTS.
18. FIRESTOP ALL PENETRATIONS THROUGH FIRE SEPARATIONS.
19. ALL COMBUSTIBLE PIPING MATERIALS SHALL COMPLY WITH OBC 3.1.5.16. ALL CABLES AND WIRES SHALL COMPLY WITH OBC 3.1.5.18.
20. BUILDING SERVICES THAT PENETRATE A FIRE WALL OR FIRE SEPARATION SHALL BE SEALED BY A FIRE STOP SYSTEM THAT HAS A FIRE RATING NOT LESS THAN THE FIRE RESISTANCE RATING FOR THE FIRE SEPARATION. (OBC DIV. B - 3.1.9.)
21. ALL BARRIER-FREE SIGH SHALL COMPLY WITH OBC 3B.3.1.
22. GENERAL CONTRACTOR TO ENSURE ALL NEW AND EXISTING COMBUSTIBLE ELECTRICAL AND DATA WIRING IS CONCEALED IN A NON-COMBUSTIBLE RACEWAY WITHIN THE RETURN ARE PLENUM.

MATERIAL SYMBOLS

- EARTH SECTION
- CONCRETE SECTION
- PLASTER/GYPSUM SECTION
- GRASS
- PLYWOOD
- SEMI-RIGID / BATT INSULATION SECTION
- RIGID INSULATION SECTION
- STEEL, IRON SECTION
- ALUMINUM SECTION
- EXISTING MATERIAL

ARCHITECTURAL SYMBOLS

- SECTION
- ELEVATION
- DETAIL
- ROOM NAME & NUMBER (ROOM NAME / XXX)
- DOOR NUMBER (1)
- WALL TYPE (1)
- REVISION CLOUD

No.	Date:	Issued/Revision:	By
4	03/19/2025	ISSUED FOR SPA	HW
3	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
2	06/17/2024	ISSUED FOR REVIEW	HW
1	12/19/2023	ISSUED FOR REVIEW	HW

Client:

FIREARMS OUTLET CANADA

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

OBC MATRIX &
CONSTRUCTION NOTES

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A1.2
Checked by :	HW		

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EXTERIOR WALL TYPES

TYPE	CONSTRUCTIONS	DESCRIPTION	FIRE RATE	COMMENTS
EW1	EXT. / INT.	**6" METAL PANEL STUD WALL** - PREFINISH METAL COMPOSITE PANEL SYSTEM - AIR BARRIER - 2" POLYSIO RIGID INSULATION (R12 MIN.) - 1/2" EXT. GRADE SHEATHING - 6" METAL STUD @ 16" O.C C/W BATT INSUL. (R13 MIN) - 6 MIL POLY VAPOUR BARRIER - 5/8 " GYPSUM BOARD		
EW2	EXT. / INT.	**8" METAL PANEL CONC. WALL** - PREFINISH METAL COMPOSITE PANEL SYSTEM - 4" POLYSIO RIGID INSULATION (R17 MIN.) - 8" LIGTHWEIGHT CONC. BLOCK - PAINT FINISH		
EW3	EXT. / INT.	**METAL PANEL STUD WALL ON BOTH SIDES** - PREFINISH METAL COMPOSITE PANEL SYSTEM - AIR BARRIER - 2" POLYSIO RIGID INSULATION (R12 MIN.) - 1/2" EXT. GRADE SHEATHING - 6" METAL STUD @ 16" O.C .C/W BATT INSUL. (R13 MIN) - 1/2" PLYWOOD SHEATING - 6 MIL POLY VAPOUR BARRIER - METAL PANEL FINISH		
EW4		**DOUBLE METAL STUD W/ METAL PANEL** - PREFINISH METAL COMPOSITE PANEL SYSTEM - VAPOUR BARRIER - EXT. GRADE SHEATHING - 6" METAL STUD @ 16" O.C - 6" METAL STUD @ 16" O.C - EXT. GRADE SHEATHING - VAPOUR BARRIER - PREFINISH METAL COMPOSITE PANEL SYSTEM		WRAP THE METAL PANEL AROUND THE WALL
EW5	EXT. / INT.	**METAL PANEL ON PRECAST CONC. WALL** - PREFINISH METAL COMPOSITE PANEL SYSTEM - 4" POLYSIO RIGID INSULATION (R17 MIN.) - 5" PRECAST CONC. PANEL - 1 5/8" METAL FURRING - 1 LAYER OF 5/8" GYPSUM BOARD		
EW6	EXT. / INT.	**INSULATED PRECAST CONC. PANEL WALL 1** - 3" PRECAST CONC. PANEL - 4" POLYSIO RIGID INSULATION (R17 MIN.) - 6" PRECAST CONC. PANEL - 1 5/8" METAL FURRING - 1 LAYER OF 5/8" GYPSUM BOARD	1 HR (FIRE WALL)	PRE- MANUFACTURED INSULATED PRECAST CONC.WALL
EW7	EXT. / INT.	**INSULATED PRECAST CONC. PANEL WALL 2** - 3" PRECAST CONC. PANEL - 4" POLYSIO RIGID INSULATION (R17 MIN.) - 6" PRECAST CONC. PANEL	1 HR (FIRE WALL)	PRE- MANUFACTURED INSULATED PRECAST CONC.WALL
EW8		**8" POURED CONC. FOUNDATION WALL** - REFER TO STRUCTURE		
EW9		**EXISTING WALL + PANEL**		

INTERIOR WALL TYPES

TYPE	CONSTRUCTIONS	DESCRIPTION		
P1	EXISTING WAREHOUSE / OFFICE	**HARDENED CONC. BLOCK WALL 1** - 8" HARDENED CONC. BLOCK -1 5/8" FURRING CHANNEL @ 16" O.C -1 LAYER OF 5/8" GYPSUM BOARD	4 HR (FIRE WALL)	CARRY SOLID CONC. BLOCK WALL ABOVE ROOF SLAB 35 "
P2		**8" CONC. HARDENED CONC. WALL 2** - 8" HARDENED CONC BLOCK W/ 1-25M VERTI. REINFORCING @ 16" O.C GROUTED SOLID C/W HORIZONAL REINF. EVERY 2ND BLOCK COURSE (FULL HEIGHT)	4 HR (FIRE WALL)	CARRY SOLID CONC. BLOCK WALL ABOVE ROOF SLAB 35 "
P3		**8" LIGHTWEIGHT CONC. BLOCK**		HEIGHT TO U/S OF FLOOR SLAB OR ROOF SLAB
P4		**8" HARDENED CONC. BLOCK**	1 HR (FIRE WALL)	HEIGHT TO U/S OF FLOOR SLAB OR ROOF SLAB
P5		**8" LIGHTWEIGHT CONC.** - 8" LIGHTWEIGHT CONC. BLOCK -1 5/8" FURRING CHANNEL @ 16" O.C - 1 LAYER OF 5/8" GYPSUM BOARD		
P6		**8" HARDENED CONC. BLOCK** - 8" HARDENED CONC. BLOCK -1 5/8" FURRING CHANNEL @ 16" O.C - 1 LAYER OF 5/8" GYPSUM BOARD	1 HR (FIRE WALL)	CARRY GYPSUM WALLBOARD 4" ABOVE CEILING
P7		**3 5/8" METAL STUD WALL (WASHROOM)** - 1 LAYER OF 5/8" GYPSUM BOARD - 3 5/8" METAL STUDS AT 16" O.C. - BATT INSULATION - 1 LAYER OF 5/8" GYPSUM BOARD		
P8	PLUMBING SHAFT / WASHROOM	**3 5/8" METAL STUD WALL - CHASE WALL** - 3 5/8" METAL STUDS @ 16" O.C. - 1 LAYER OF 5/8" GYPSUM BOARD		
P9		**6" METAL STUD WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 6" METAL STUDS @ 16" O.C. - BATT INSULATION - 1 LAYER OF 5/8" GYPSUM BOARD		
P10		**6" METAL STUD WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 6" METAL STUDS @ 16" O.C.		
P11		**6" METAL STUD WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 6" METAL STUDS @ 16" O.C. - 1 LAYER OF 5/8" GYPSUM BOARD		
P12		**8" CONC. BLOCK W/ FINISH** -1 LAYER OF 5/8" GYPSUM BOARD -1 5/8" FURRING CHANNEL @ 16" O.C -8" CONC BLOCK -1 5/8" FURRING CHANNEL @ 16" O.C -1 LAYER OF 5/8" GYPSUM BOARD		

INTERIOR WALL TYPES

TYPE	CONSTRUCTIONS	DESCRIPTION	FIRE RATE	COMMENTS
P13		**DOUBLE 3 5/8" METAL STUD WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 3 5/8" METAL STUDS @ 16" O.C. - 3 5/8" METAL STUDS @ 16" O.C. - 1 LAYER OF 5/8" GYPSUM BOARD		
P14	VESTIBULE / SHOOTING RANGE	**CONC. BLOCK NRC 0.8 TREATMENT** - 8" COCNC. BLOCK - ACOUSTICS PANEL		
P15		**2 1/2" METAL STUD WALL** - 2 1/2" METAL STUDS @ 16" O.C. - 1 LAYER OF 5/8" GYPSUM BOARD		
P13		**6" METAL STUD WALL (LOAD BEARING WALL)** - 1 LAYER OF 5/8" GYPSUM BOARD - 6" METAL STUDS @ 16" O.C. - BATT INSULATION		
P14		**HARDENED CONC. BLOCK WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 1 5/8" FURRING CHANNEL @ 16" O.C - 8" HARDENED CONC. BLOCK		
P15		**LIGHTWEIGHT CONC. BLOCK WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 1 5/8" FURRING CHANNEL @ 16" O.C - 8" LIGHTWEIGHT CONC. BLOCK		
P16		**FURRING WALL** - 1 LAYER OF 5/8" GYPSUM BOARD - 1 5/8" METAL FURRING		

ROOF TYPES

TYPE	CONSTRUCTIONS	DESCRIPTION	COMMENTS
RF-1		- TPO WATERPROOF MEMBRANE (HIGH REFLECTIVE) - PROTECTION BOARD - TAPERED RIGID INSULATION (R35 MIN.) TO CREATE ROOF SLOPE - 2" CONCRETE TOPPING - METAL DECK - STRUCTURE STEEL - FIBERGLASS INSULATION FOR SOUND ATTENUATION - SUSPENDED DRYWALL CEILING (1 LAYER OF 5/8" GYPSUM BOARD)	
RF-2		- TPO WATERPROOF MEMBRANE (HIGH RELECTIVE) - PROTECTION BOARD - 6" TAPERED RIGID INSULATION (R35 MIN.) TO CREATE ROOF SLOPE - 6MIL POLY VAPOUR BARRIER - METAL DECK - STRUCTURE STEEL	
RF-3	1" - 6"	- 6" METAL STUD @ 2'-0" O.C (GAUGE 16) - SUSPENDED ACOUSTIC TILE CEILING	
RF-4		- TPO WATERPROOF MEMBRANE (HIGH REFLECTIVE) - PROTECTION BOARD - TAPERED RIGID INSULATION (R35 MIN.) TO CREATE ROOF SLOPE - 2" CONCRETE TOPPING - METAL DECK - STRUCTURE STEEL	
RF-5		-TPO ROOFING MEMBRANE - PROTECTION BOARD - TAPERED INSULATION TO FORM SLOPES - MIN. 2% SLOPE TO DRAIN - METAL DECK (REFER TO STRUC. DWGS.) - ROOF STRUCTURE (REFER TO STRUC. DWGS.) - COLD FORMED STUD/FURRING FRAMING (IF REQUIRED) - 1/2" EXTERIOR GRADE PLYWOOD SHEATHING - VAPOUR IMPERMEABLE AIR BARRIER - ALUMINUM SIDING	

FLOOR TYPES

FL-1		**TYPICAL COMPOSITE FLOOR** - FLOOR FINISH AS SEPCIFIED - 3" CONCRETE TOPPING (REFER TO STRUC. DWGS.) - METAL DECK (REFER TO STRUC. DWGS.) - STRUCTURE STEEL (REFER TO STRUC. DWGS.)	
FL-2		**CONCRETE SLAB ON GRADE** - FLOOR FINISH AS SPECIFIED - CONCRETE SEALER - 6" CAST-IN-PLACE CONCRETE SLAB (REFER TO STRUC. DWGS.) - 6MIL POLYETHYLANE MOISTURE BARRIER - 3" RIGID INSULATION AT FOUNDATION PERIMETER, MECHANICALLY FASTENED TO A DEPTH OF 4ft. - GRAVEL OR CRUSHED STONE DRAINAGE COURSE	

CEILING TYPES

TYPE	CONSTRUCTIONS	DESCRIPTION	
CL-1		**SUSPENDED ACOUSTIC TILE CEILING** - SUSPENSION SYSTEM WITH HANGING WIRE ATTACHED TO STRUCTURE ABOVE - 2'X2' ACOUSTIC CEILING TILE	
CL-2		**SUSPENDED GYPSUM BOARD CEILING** - SUSPENSION SYSTEM WITH HANGING WIRE ATTACHED TO STRUCTURE ABOVE - 20 GA. MIN. METAL FURRING CHANNEL - 1/2" GYPSUM BOARD	
CL-3		**ACOUSTIBUILT CEILING SYSTEM** - ACOUSTICAL SUSPENSION SYSTEM - METAL FRAMING - ACOUSTIBUILT PANEL	

ASSEMBLY NOTES

1. PROVIDE FULL HEIGHT SOUND ATTENUATION BLANKET AT ALL WASHROOM PARTITIONS.

2. PROVIDE FULL HEIGHT SOUND ATTENUATION BLANKET IN ALL PARTITIONS AROUND SHAFTS AND SERVICE ROOMS.

3. SEAL ALL FIRE RATED PARTITIONS TO FLOOR SLAB AND THE UNDERSIDE OF STRUCTURE ABOVE WITH FIRE STOP AND FIRE PROOFING SEALANT. SEAL ALL PENETRATIONS THROUGH FIRE SEPARATIONS WITH ULC-APPROVED FIRESTOP SYSTEMS.

4. ALL GYPSUM BOARD FINISH, FURRING MATERIALS AND INTERIOR VENEER MATERIALS SHALL EXTEND A MINIMUM OF 4" ABOVE THE HIGHEST ADJACENT FINISHED CEILING UNLESS NOTED OTHERWISE ON DRAWINGS.

5. SUBSTITUTE GYPSUM BOARD WITH MOISTRUE RESISTANT GYPSUM BOARD WHERE MOISTRUE IS A FACTOR AND TILE IS NOT SPECIFIED.

7. FOR STEEL FRAMING, PROVIDE SHOP DRAWINGS DESIGNED AND STAMPED BY STRUCTURAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

No.	Date:	Issued/Revision:	By
1	03/19/2025	ISSUED FOR SPA	HW

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

ASSEMBLIES

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A1.4
Checked by :	HW		

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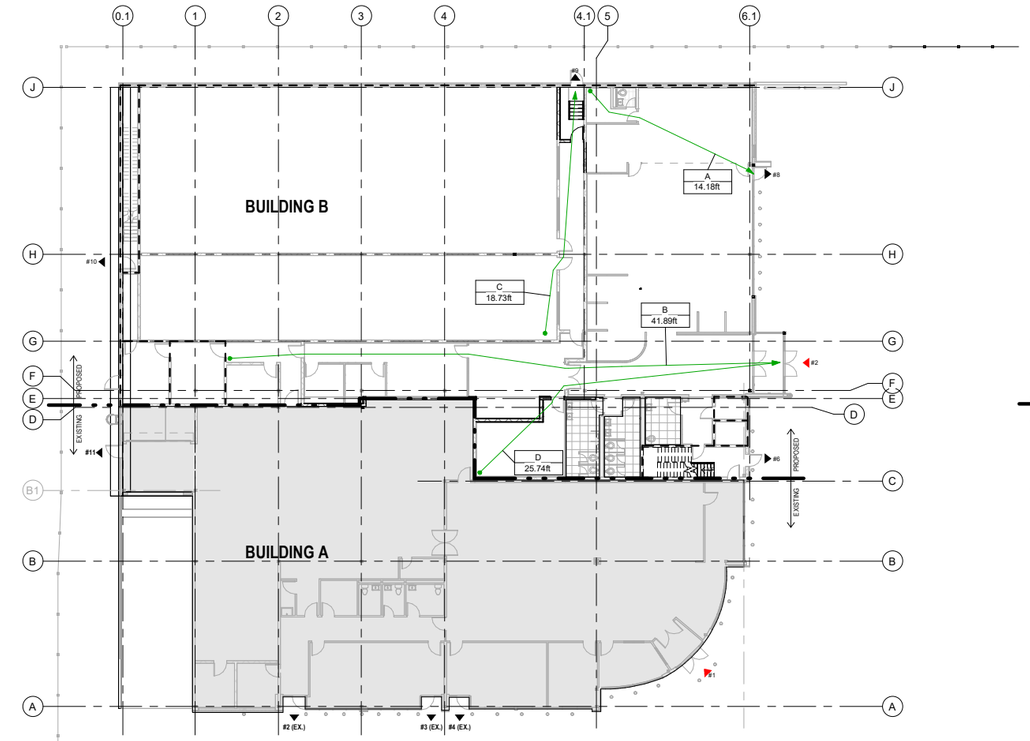
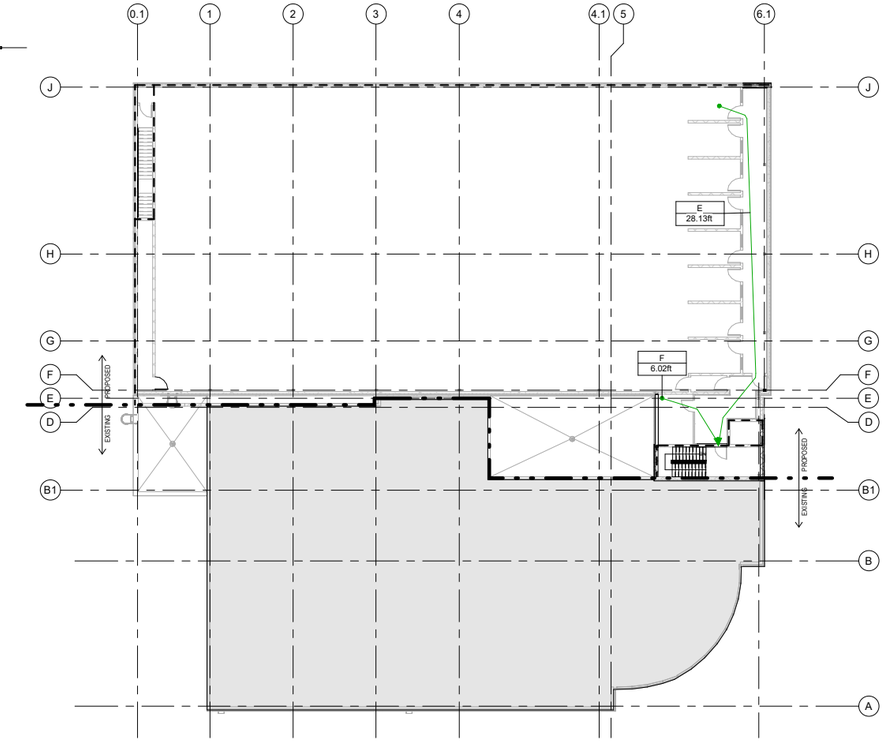


1 FIRE SEPERATION GROUND FLOOR
1/16" = 1'-0"



2 FIRE SEPERATION SECOND FLOOR
1/16" = 1'-0"

TRAVEL DISTANCE	
MARK	LENGTH
GROUND FLOOR	
A	14.9 FT
B	41.9 FT
C	18.7 FT
D	25.7 FT
SECOND FLOOR	
A	28.1 FT
B	6.0 FT

TRAVEL DISTANCE NOTE
147.6 FT MAX FOR GROUP A ASSEMBLY

LEGEND

- EGRESS PATH
- 1 HOUR FIRE RATED SEPERATION (FIRE WALL)
- 4 HOUR FIRE RATED SEPERATION (FIRE WALL)
- ENTRANCE DOOR
- EXIT DOOR

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

FIRE SEPERATION PLAN

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A1.5
Checked by :	HW		

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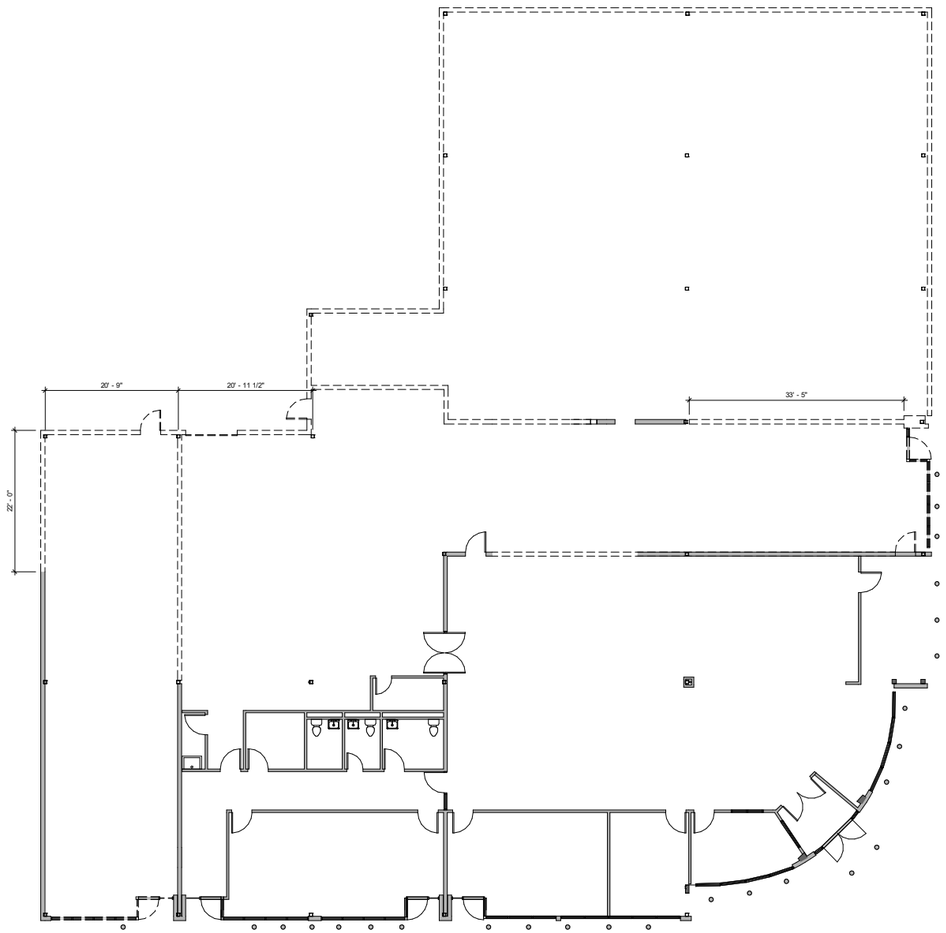

1 GROUND FLOOR DEMOLITION PLAN
1" = 10'-0"

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- NEW INTERIOR WALLS
- P.D.O. — POWER DOOR OPERATOR
- F.D. — FLOOR DRAIN (REFER TO MECH DWGS)
- DR01 — DOOR TYPE
- W1 — WALL TYPE
- M1 — EQUIPMENT NUMBER
- GLZ-X — GLAZING NUMBER

DEMOLITION PLAN NOTES

1. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS. INTERFACE BETWEEN DISCIPLINES (STRUCTURAL, MECHANICAL, HVAC, PLUMBING AND ELECTRICAL) AND WORK BETWEEN TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
2. SEE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ALL RELATED COMPONENTS OF DEMOLITION, MODIFICATION, AND NEW INSTALLATION.
3. ALL DIMENSIONS ON THIS DRAWING HAVE BEEN ROUNDED TO THE NEAREST 1" FOR CLARITY UNLESS OTHERWISE NOTED.
4. GENERAL CONTRACTOR TO SITE VERIFY ALL EXISTING DIMENSIONS.
5. GENERAL CONTRACTOR TO PROTECT ALL EXISTING COMPONENTS, FINISHES THAT ARE NOT DESIGNATED TO BE DEMOLISHED FROM DAMAGE DURING DEMOLITION. MAKE GOOD ALL DAMAGE RESULTING FROM THE WORK CARRIED OUT UNDER THIS CONTRACT AT NO EXTRA CHARGE.
6. GENERAL CONTRACTOR SHALL COORDINATE ALL DEMOLITION WORK WITH APPROPRIATE UTILITY COMPANIES PRIOR TO STARTING WORK.
7. GENERAL CONTRACTOR TO CUT OPENINGS ON EXISTING EXTERIOR AND INTERIOR WALLS FOR NEW WINDOWS AND DOORS BASED ON PROPOSED FLOOR PLANS. GENERAL CONTRACTOR TO ENSURE THESE CUTS ARE NEAT AND CLEAN, NOT DAMAGING ADJACENT WALLS, FLOORS AND CEILINGS.
8. EXISTING DOORS BEING REMOVED ARE TO BE KEPT FOR REUSE IF POSSIBLE.
9. EXISTING WALLS TO BE REMOVED, MAKE GOOD ALL ADJACENT WALLS, FLOORS AND CEILING FINISHES AS REQUIRED.
10. GENERAL CONTRACTOR TO ENSURE ALL FLOOR AREA ARE FREE OF DEBRIS AND HAZARDOUS MATERIAL AFTER DEMOLITION IS COMPLETED.
11. ALL EXISTING STRUCTURES REMAIN INTACT UNLESS OTHERWISE NOTED.
12. ALL EXISTING PLUMBING AND DRAINAGE LINES SHALL BE CAPPED OFF WHERE EXISTING PLUMBING FIXTURES AND DRAINAGE LINES TO BE REMOVED AND DISPOSED OF. MAKE GOOD ALL ADJACENT SURFACES AS REQUIRED. (SEE MECHANICAL)
13. ALL EXISTING WINDOWS ARE TO REMAIN INTACT UNLESS OTHERWISE INDICATED.
14. GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL ONGOING AND FINAL CLEAN UP.

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1	12/19/2023	ISSUED FOR REVIEW	HW

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

DEMO FLOOR PLAN

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A2.1
Checked by :	HW		

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BUILDING B

BUILDING A

SHOOTING RANGE 2 132

SHOOTING RANGE (682 m² / 7,344 SF) (15 LANES)

SHOOTING RANGE 1 131

STAIR B

STAIR C

STAIR A 122

CORRIDOR 117

STAFF WC 118

STORAGE 118

KITCHEN 120

WALK-IN COOLER

BAR

RESTAURANT 121 DINING AREA (78 SEATS)

BOOTH SEATS

RECEPTION

LOBBY 102

VESTIBULE 101

MACH. RM 103

ELEV 123

WOMEN'S WC 105

UNI. WC 104

MEN'S WC 106

MAIN RECP.

RANGE RECP.

CLASSROOM 107

SHOOTING RANGE LOBBY 108

GUN LOCKER RM. 109

SERVICE CORRIDOR 112

MECH. ROOM 115

ELEC. RM 114

OFFICE 3 113

OFFICE 2 111

OFFICE 1 110

STOR. 116

GARBAGE ROOM

LOADING / RECEIVING

EX. WAREHOUSE (FIREARMS & AMMUNITION)

EX. BUILDING (HATCHED) (NOT IN SCOPE)

RETAIL (269 m²/2,895 SF)

ELEC/SERVER ROOM

JAN.

EX. STAFF ROOM

EX. WOMENS

EX. MENS

UNIVERSAL WASHROOM

EX. CLASSROOM

EX. OFFICE

EX. OFFICE

SECURITY

EX. VESTIBULE

STORAGE 2997

STORAGE 2921

LOADING SPACE

CONCRETE RETAINING WALL W/ METAL GUARD

DEPRESSED RAMP HEAVY DUTY PAVEMENT 4.0% SLOPE

EXIT #1 EXIT #2 (EX.) EXIT #3 (EX.) EXIT #4 (EX.) EXIT #5 (EX.) EXIT #6 EXIT #7 EXIT #8 EXIT #9 EXIT #11

MAIN ENTRANCE #1 MAIN ENTRANCE #2

PICK-UP WINDOW WN08

BOLLARD (TYP.)

LINE OF CANOPY ABOVE

BIKE STAND

NEW COLUMN

EX. STEEL COLUMN

CAGE LADDER

16'X8' ROLL-UP DOOR

14'x10' ROLL-UP DOOR

FFE 91.81

1 GROUND FLOOR PROPOSED PLAN
1/8" = 1'-0"

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE DEMOLISHED
- NEW INTERIOR WALLS
- P.D.O. — POWER DOOR OPERATOR
- F.D. — FLOOR DRAIN (REFER TO MECH DWGS)
- DR01 — DOOR TYPE
- W1 — WALL TYPE
- W1 — EQUIPMENT NUMBER
- GLZ-X — GLAZING NUMBER

FLOOR PLAN NOTES

1. FOR GENERAL NOTES, LEGEND AND WALL TYPES, REFER TO DRAWING A1.2.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS, INTERFACE BETWEEN DISCIPLINES (STRUCTURAL, MECHANICAL, HVAC, PLUMBING AND ELECTRICAL) AND WORK BETWEEN TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. ALL DIMENSIONS ON THIS DRAWING HAVE BEEN ROUNDED TO THE NEAREST 1/4" FOR CLARITY.
4. ALL EXISTING DIMENSIONS ARE PLUSMINUS. CONTRACTOR TO VERIFY DIMENSIONS FOR EXISTING BUILDING PRIOR TO CONSTRUCTION.
5. FOR FLOOR FINISHES REFER TO FLOOR FINISH PLAN ON DRAWING A2.3.
6. FOR FLOOR DRAIN LOCATIONS REFER TO MECHANICAL DRAWINGS TYP.
7. FOR DOOR AND FRAME TYPES REFER TO DOOR SCHEDULE ON DRAWING A1.3.
8. PARTITIONS WHICH SUPPORT FIXTURES, MILLWORK AND/ OR ACCESSORIES ARE TO BE REINFORCED WITH WOOD STUD BLOCKING AND/OR PLYWOOD AS REQUIRED TO PROVIDE RIGID SUPPORT AND A FASTENING SURFACE.
9. ALL EXISTING WINDOWS TO REMAIN UNLESS OTHERWISE NOTED.
10. ALL STEEL STUD PARTITIONS ARE TO BE EXTENDED MIN. 6" ABOVE FINISHED CEILING UNLESS OTHERWISE NOTED. STUDS PARTITION FRAMING TO BE MIN. 20 GAUGE UNLESS OTHERWISE NOTED. APPLY WEB STIFENERS WHEN IF EXCEED MAX. HEIGHT SPAN.
11. GENERAL CONTRACTOR TO ENSURE ALL NEW AND EXISTING COMBUSTIBLE ELECTRICAL AND DATA WIRING IS CONCEALED IN A NON-COMBUSTIBLE RACEWAY WITHIN THE RETURN ARE PLENUM.
12. BUILDING SERVICES THAT PENETRATE A FIRE WALL OR FIRE SEPARATION SHALL BE SEALED BY A FIRE STOP SYSTEM THAT HAS A FIRE RATING NOT LESS THAN FIRE RESISTANCE RATING FOR THE FIRE SEPARATION. (OBC DIV. B - 3.1.9.)
13. GENERAL CONTRACTOR TO ENSURE EXISTING DEMISING WALLS REMAIN CONTINUOUS DURING CONSTRUCTION. REFER TO WALL TYPES ON DRAWING A1.2 FOR EXISTING DEMISING WALL TREATMENT.
14. ALL EXISTING STRUCTURE SHALL REMAIN UNLESS OTHERWISE NOTED.
15. DOOR AND WINDOW MANUFACTURER TO SITE VERIFY ALL OPENING DIMENSIONS PRIOR TO FABRICATION.
16. EXTERIOR DOOR AND WINDOW ASSEMBLIES TO MEET THE REQUIREMENTS OF SB10 OF THE ONTARIO BUILDING CODE.
17. EXTERIOR WALL ASSEMBLIES TO MEET THE REQUIREMENTS OF SB10 OF THE ONTARIO BUILDING CODE.
18. GENERAL CONTRACTOR TO PROVIDE GYPSUM WALL BOARD CONTROL JOINTS IN ALL WALLS. CONTROL JOINTS TO BE STRAIGHT, CONTINUOUS AND INSTALLED 30 FEET O.C. MAX.
19. PROVIDE SOFT WEATHER TIGHT JOINTS AT ALL ADJACENT MATERIALS AND SURFACES AS PER MANUFACTURES SPECIFICATIONS.
20. GENERAL CONTRACTOR TO INSTALL EMERGENCY/EXIT LIGHTING AS PER ELECTRICAL DRAWINGS.
21. GENERAL CONTRACTOR TO INSPECT AND ENSURE ALL EXISTING EMERGENCY/EXIT LIGHTS ARE IN GOOD WORKING CONDITION. REPLACE BATTERY PACK AS REQUIRED.
22. CONTRACTOR TO PROVIDE ARCHITECT/ELECTRICAL CONSULTANT WITH AN EMERGENCY LIGHTING TEST REPORT.
23. GENERAL CONTRACTOR TO HAVE EXISTING FIRE ALARM SYSTEM VERIFIED AND PROVIDE A CERTIFICATE TO THE ARCHITECT / ELECTRICAL CONSULTANTS, BUILDING DEPARTMENT AND FIRE DEPARTMENT.
24. EXISTING ROOF TO REMAIN INTACT UNLESS OTHERWISE NOTED.
25. TRANSPARENT DOORS AND PANELS IN PUBLIC AREAS SHALL BE CONSTRUCTED WITH TEMPERED GLASS OR LAMINATED GLASS AND SHALL BE APPROVED BY ATTACHING NON-TRANSPARENT HARDWARE AS REQUIRED BY 3.3.1.19 OF THE ONTARIO BUILDING CODE.
26. REFER TO SECURITY DRAWINGS FOR ALL SECURITY ACCESS DEVICE LOCATIONS AND REQUIREMETNS TYPICAL.

LEGEND

4HR FIRE WALL SEPERATION

No.	Date:	Issued/Revision:	By
11	03/19/2025	ISSUED FOR SPA	HW
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9	01/13/2025	ISSUED FOR REVIEW	HW
8	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
7	06/17/2024	ISSUED FOR REVIEW	HW
6	12/19/2023	ISSUED FOR REVIEW	HW
5	12/18/2023	ISSUED FOR COORDINATION	HW
4	12/08/2023	ISSUED FOR REVIEW	HW
3	07/20/2023	ISSUED FOR REVIEW	HW
2	07/18/2023	ISSUED FOR REVIEW	HW
1	07/17/2023	ISSUED FOR REVIEW	HW

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

GROUND FLOOR PROPOSED PLAN

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A2.2
Checked by :	HW		

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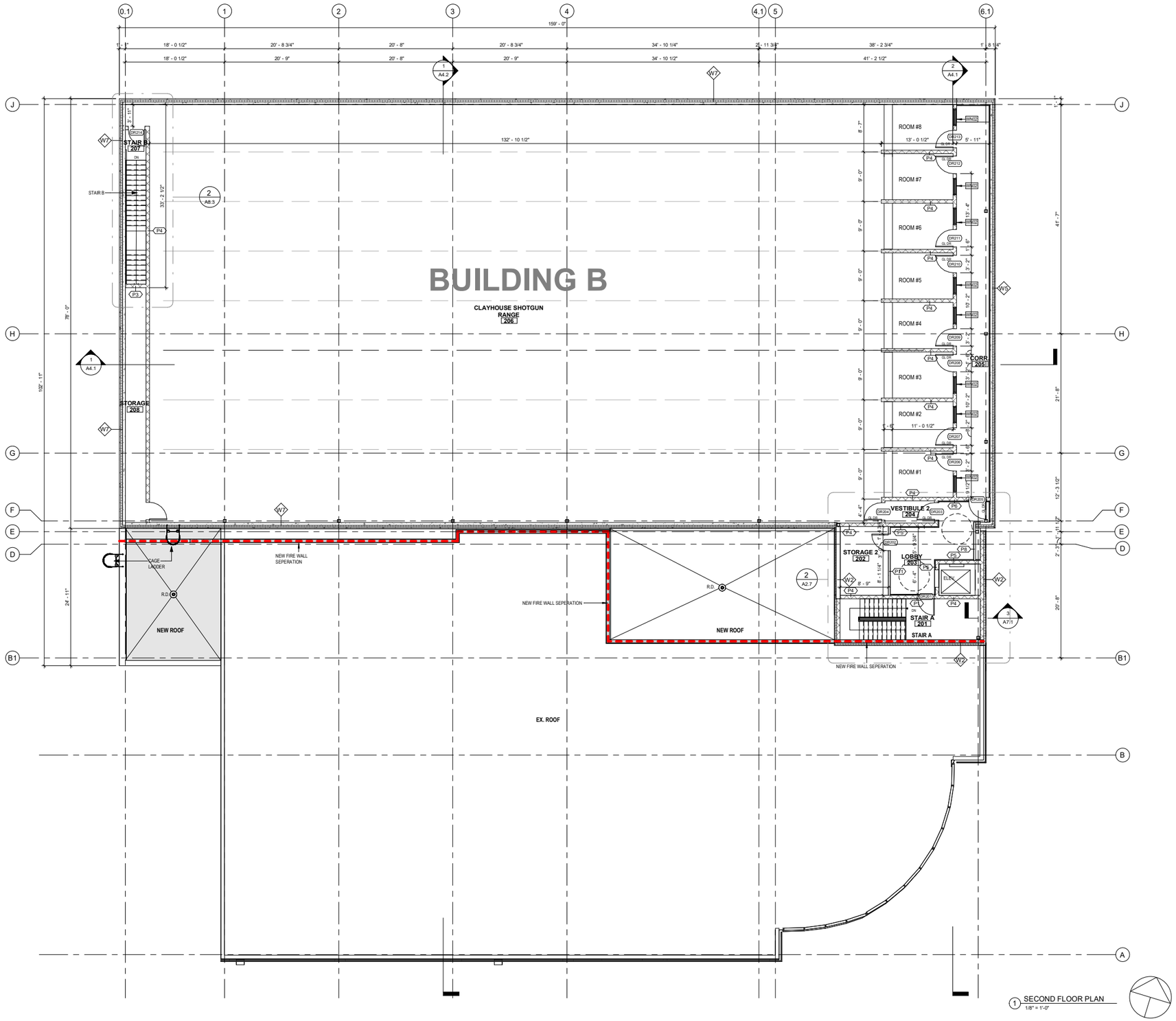

FLOOR PLAN NOTES

1. FOR GENERAL NOTES, LEGEND AND WALL TYPES, REFER TO DRAWING A1.2.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS. INTERFACE BETWEEN DISCIPLINES (STRUCTURAL, MECHANICAL, HVAC, PLUMBING AND ELECTRICAL) AND WORK BETWEEN TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
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21. GENERAL CONTRACTOR TO INSPECT AND ENSURE ALL EXISTING EMERGENCY/EXIT LIGHTS ARE IN GOOD WORKING CONDITION. REPLACE BATTERY PACK AS REQUIRED.
22. CONTRACTOR TO PROVIDE ARCHITECT/ELECTRICAL CONSULTANT WITH AN EMERGENCY LIGHTING TEST REPORT.
23. GENERAL CONTRACTOR TO HAVE EXISTING FIRE ALARM SYSTEM VERIFIED AND PROVIDE A CERTIFICATE TO THE ARCHITECT / ELECTRICAL CONSULTANTS, BUILDING DEPARTMENT AND FIRE DEPARTMENT.
24. EXISTING ROOF TO REMAIN INTACT UNLESS OTHERWISE NOTED.
25. TRANSPARENT DOORS AND PANELS IN PUBLIC AREAS SHALL BE CONSTRUCTED WITH TEMPERED GLASS OR LAMINATED GLASS AND SHALL BE APPROVED BY ATTACHING NON-TRANSPARENT HARDWARE AS REQUIRED BY 3.3.1.18 OF THE ONTARIO BUILDING CODE.
26. REFER TO SECURITY DRAWINGS FOR ALL SECURITY ACCESS DEVICE LOCATIONS AND REQUIREMETNS TYPICAL.

LEGEND

4HR FIRE WALL SEPERATION

No.	Date:	Issued/Revision:	By
8	03/19/2025	ISSUED FOR SPA	HW
7	01/13/2025	ISSUED FOR REVIEW	HW
6	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
5	06/17/2024	ISSUED FOR REVIEW	HW
4	12/19/2023	ISSUED FOR REVIEW	HW
3	12/08/2023	ISSUED FOR REVIEW	HW
2	07/18/2023	ISSUED FOR REVIEW	HW
1	07/17/2023	ISSUED FOR REVIEW	HW

Client:

FIREARMS OUTLET CANADA

WANG ARCHITECTS INC.
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www.wangarchitects.ca

Project :

FIREARMS OUTLET CANADA

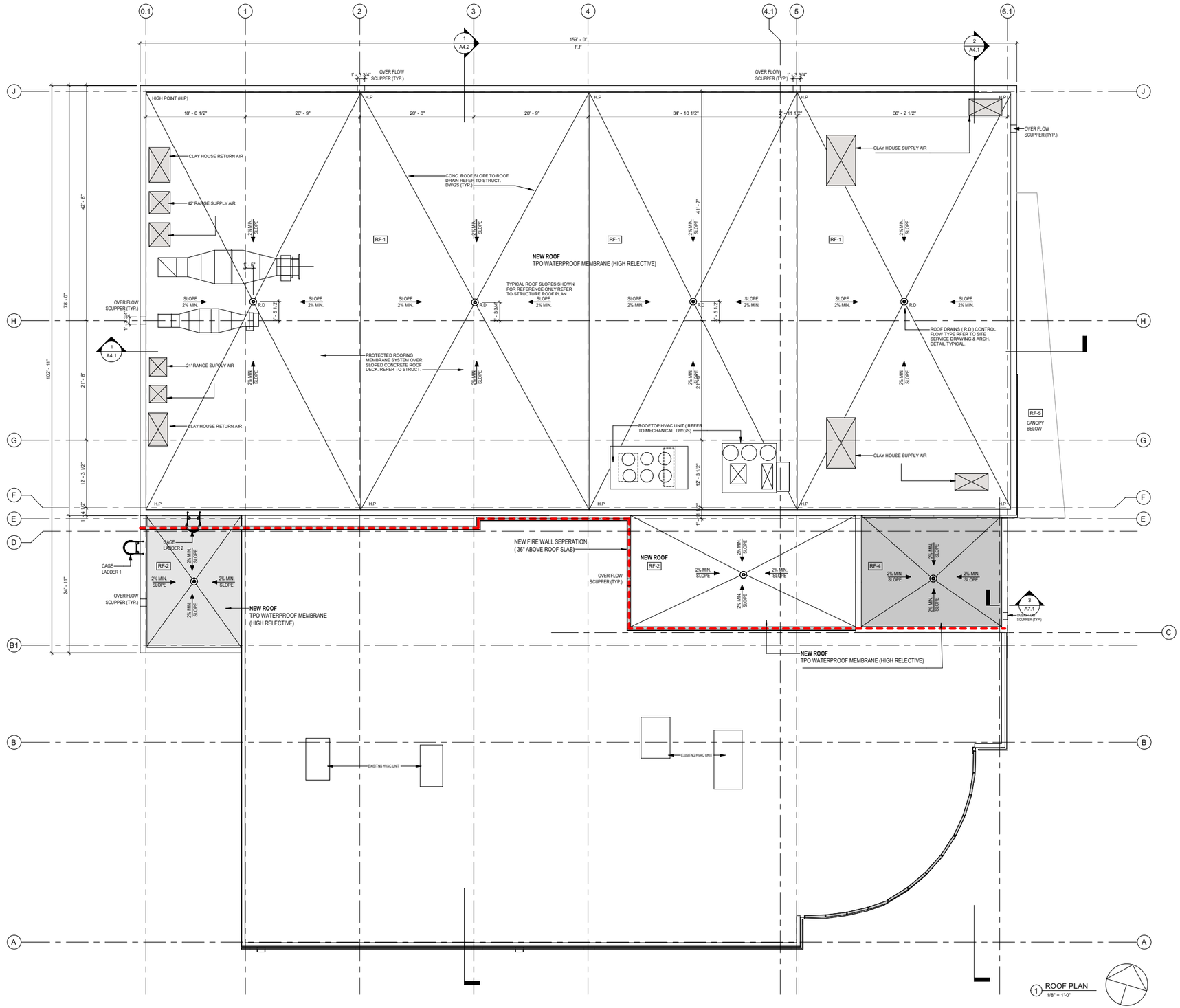
725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

SECOND FLOOR PLAN

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A2.3
Checked by :	HW		

C:\Users\HennyWong\Documents\725 Westney Rd S- Working drawings_HennyWong.rvt



LEGEND

H P	HIGH POINT
RD	ROOF DRAIN
SLOPE 2% MIN. ▶	ROOF SLOPE

NOTE:
1. ALL NEW ROOFS SHALL BE COOL ROOFS.
2. THE COOL ROOFING MATERIAL SHALL HAVE A MINIMUM INITIAL REFLECTANCE OF 0.65 AND MINIMUM EMITTANCE OF 0.9 OR A THREE-YEAR AGED SRI VALUE OF 64.

ROOF PLAN NOTE

1.FOR GENERAL NOTES AND LEGEND, REFER TO DRAWING A002.
FOR WALL TYPES, REFER TO DRAWING A003.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ALL INTERFACE DISCIPLINE DRAWINGS (STRUCTURAL, MECHANICAL, ELECTRICAL, AND LANDSCAPE DESIGN), AND WORK BETWEEN ALL TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. FOR FLOOR PLANS REFER TO DRAWINGS A201 & A202.
4. FOR MECHANICAL HVAC AND PLUMBING ROOF OPENINGS REFER TO MECHANICAL AND STRUCTURAL DRAWINGS.
5. REFER TO MECHANICAL HVAC DRAWINGS FOR LOCATIONS AND TYPES OF ROOF TOP UNITS INCLUDING ALL MIN. MAINTENANCE CLEARANCE REQUIREMENTS TYPICAL.

No.	Date:	Issued/Revision:	By
4	03/19/2025	ISSUED FOR SPA	HW
3	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
2	06/17/2024	ISSUED FOR REVIEW	HW
1	12/19/2023	ISSUED FOR REVIEW	HW

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

ROOF PLAN

Scale :	1/8" = 1'-0"	Project No :	00026
Drawn by :	Author	Drawing No :	A2.4
Checked by :	Checker		

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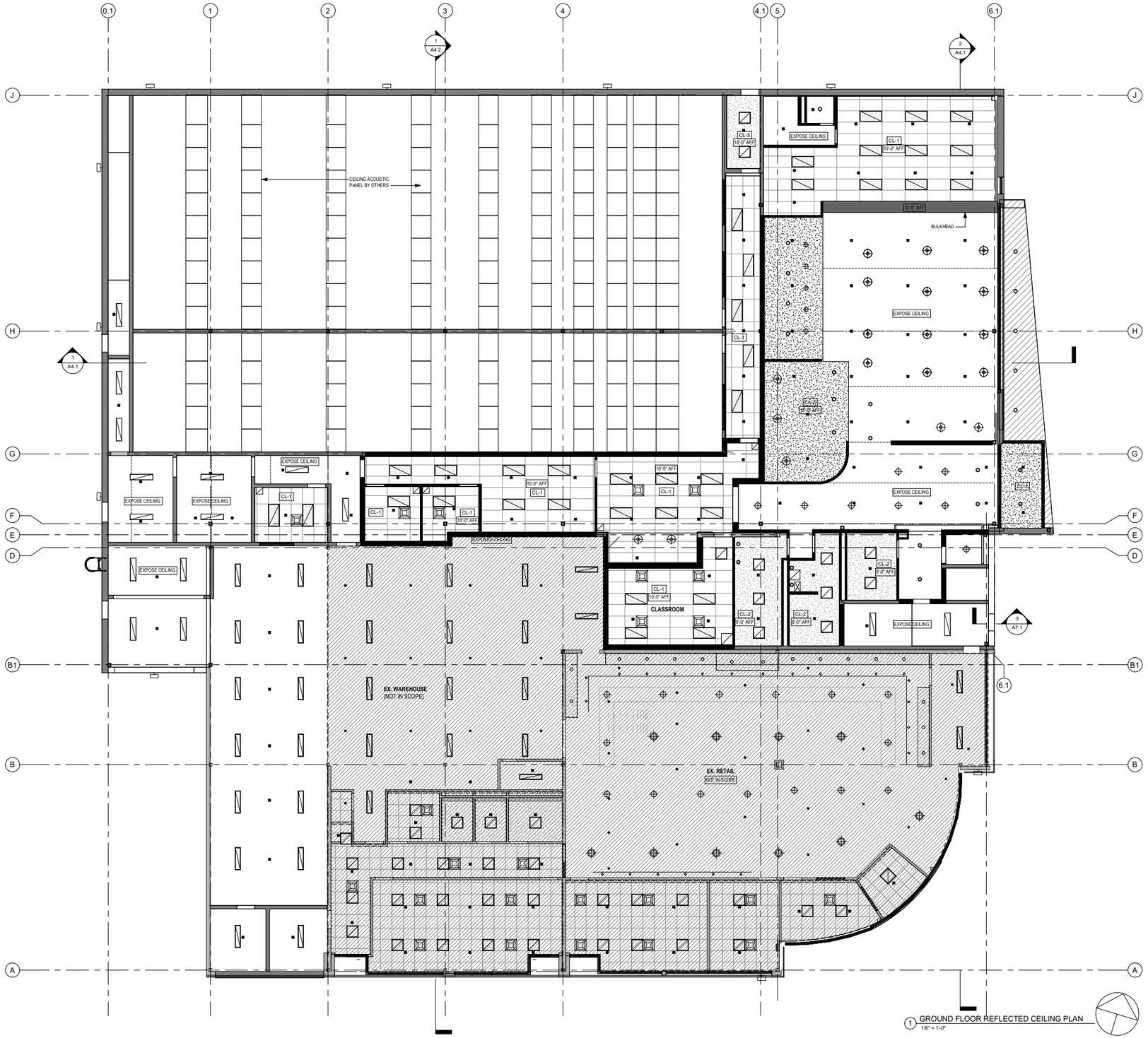

1 GROUND FLOOR REFLECTED CEILING PLAN
1/8" = 1'-0"

CEILING PLAN LEGEND & NOTES

- CL-1 — 2' x 4' ACOUSTIC TILE CEILING ON SUSPENDED T-BAR GRID SYSTEM
- CL-2 — SUSPENDED GYPSUM CEILING
- CL-3 — ACOUSTIC PANEL
- 2' x 2' RECESSED LIGHT: PHILIPS CR SofTrace LED 2X2
- LINEAR COVE LIGHT: PHILIPS LEDALITE SLOT TruGroove LED Perimeter Ambient
- SUSPENDED LINEAR LIGHT: CEILING MOUNTED LED 4'
- RECESSED POT LIGHT: PHILIPS LIGHTOLIER LyteCaster LED 5" Round Downlight
- PENDANT LIGHT: PHILIPS CFI 4073/DK Decorative Pendalyte 16" Pendant
- PENDANT LIGHT: PHILIPS FORECAST 40228/11/48
- TRACK LIGHT: PHILIPS LIGHTOLIER OmniSpot LED Cylinder
- EXISTING SPRINKLER HEAD
- NEW SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
- SUPPLY AIR SQUARE DIFFUSER - REFER TO MECH. DRAWINGS

NOTE:

1. LIGHTING IN WASHROOMS SHALL BE CONTROLLED BY MOTION SENSORS

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Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

REFLECTED CEILING PLAN - GROUND FLOOR

Scale :	1/8" = 1'-0"	Project No :	00026
Drawn by :	Author	Drawing No :	A2.5
Checked by :	Checker		

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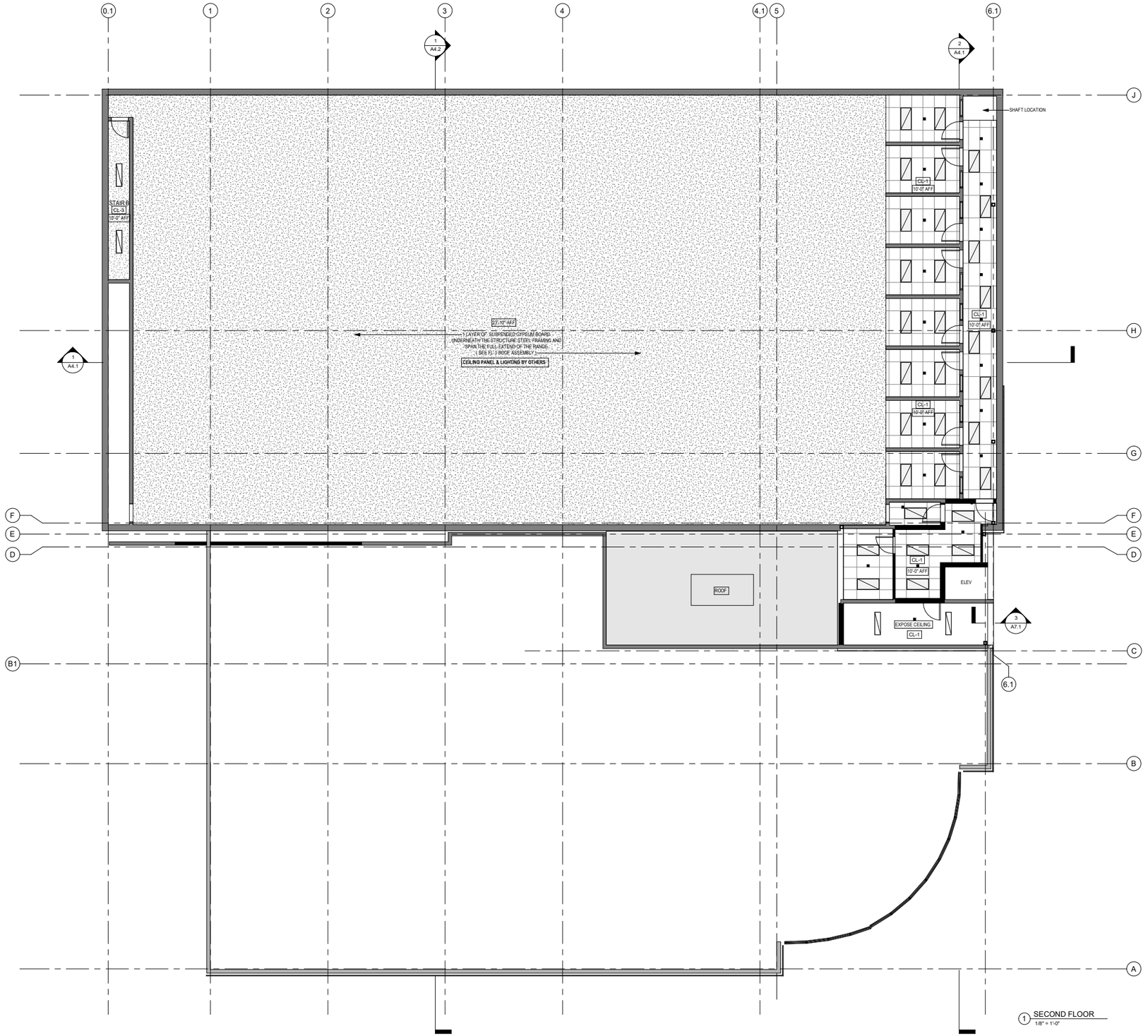

1 SECOND FLOOR
1/8" = 1'-0"

CEILING PLAN LEGEND & NOTES

- CL-1 — 2' x 4' ACOUSTIC TILE CEILING ON SUSPENDED T-BAR GRID SYSTEM
- CL-2 — SUSPENDED GYPSUM CEILING
- CL-3 — ACOUSTIC PANEL
- 2' x 2' RECESSED LIGHT: PHILIPS CFI SofTrace LED 2X2
- LINEAR COVE LIGHT: PHILIPS LEDALITE SLOT TruGroove LED Perimeter Ambient
- SUSPENDED LINEAR LIGHT: CEILING MOUNTED LED 4'
- RECESSED POT LIGHT: PHILIPS LIGHTOLIER LyteCaster LED 5" Round Downlight
- PENDANT LIGHT: PHILIPS CFI 4073UDK Decorative Pendalyte 16" Pendant
- PENDANT LIGHT: PHILIPS FORECAST 40228/11/48
- TRACK LIGHT: PHILIPS LIGHTOLIER OmniSpot LED Cylinder
- EXISTING SPRINKLER HEAD
- NEW SPRINKLER HEAD (REFER TO FIRE PROTECTION DRAWINGS)
- SUPPLY AIR SQUARE DIFFUSER - REFER TO MECH. DRAWINGS

NOTE:

1. LIGHTING IN WASHROOMS SHALL BE CONTROLLED BY MOTION SENSORS

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

REFLECTED CEILING PLAN - SECOND FLOOR

Scale :	1/8" = 1'-0"	Project No :	00026
Drawn by :	Author	Drawing No :	A2.6
Checked by :	Checker		

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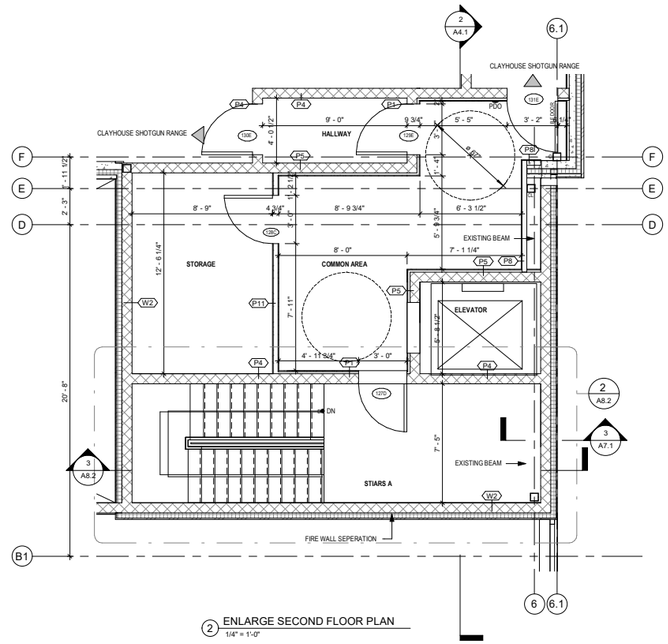
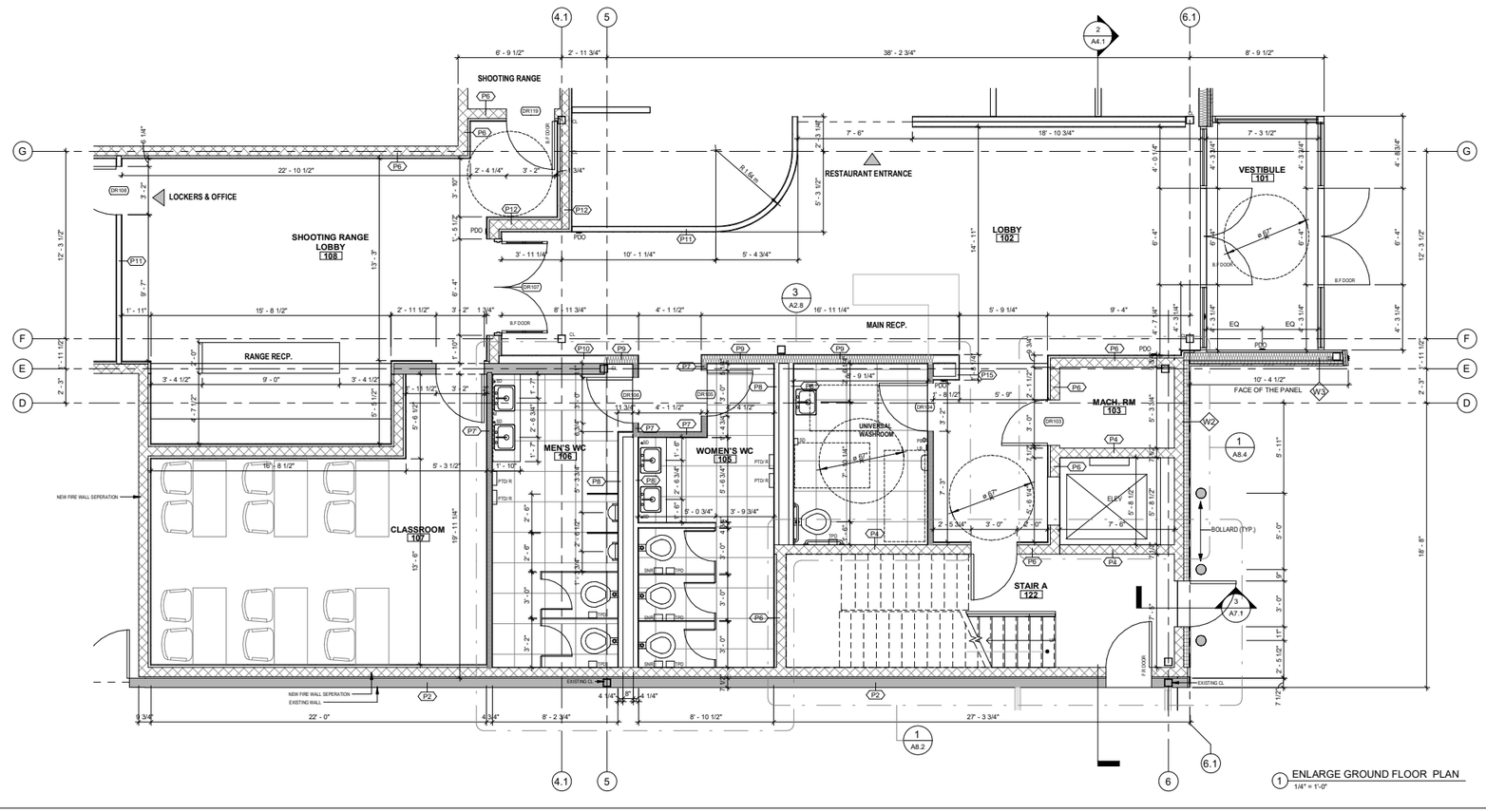


2 ENLARGE SECOND FLOOR PLAN
1/4" = 1'-0"



1 ENLARGE GROUND FLOOR PLAN
1/4" = 1'-0"

NOTE

1. FOR GENERAL NOTES AND LEGEND AND WALL TYPES, REFER TO DRAWING A1.2.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER INTERFACE DISCIPLINE DRAWINGS (CIVIL, STRUCTURAL, PLUMBING, HVAC, MECHANICL AND ELECTRICAL) AND PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. FOR ADDITIONAL INTERIOR WALL DETAILS OF FINISHES, REFER TO SPECIFIC INTERIOR BUILDING ELEVATIONS.

No.	Date:	Issued/Revision:	By

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

ENLARGE FLOOR PLAN

Scale :	As indicated	Project No :	00026
Drawn by :	Author	Drawing No :	A2.7
Checked by :	Checker		

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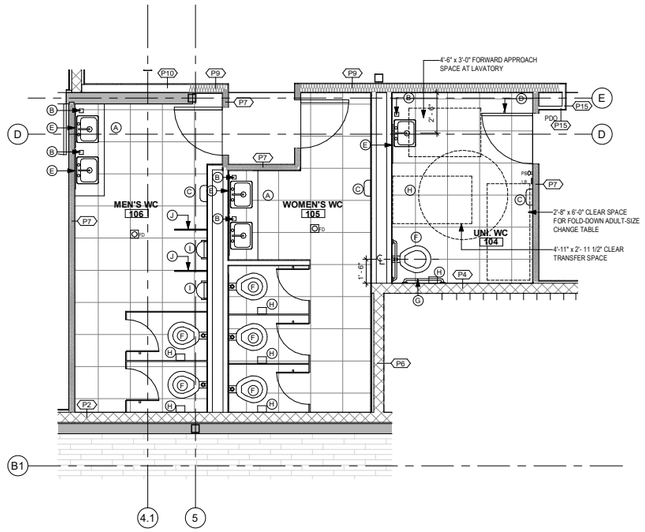
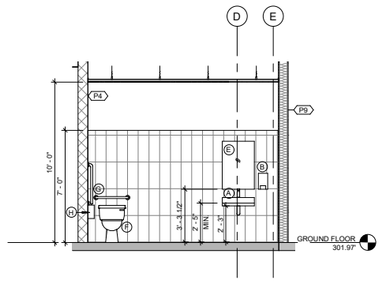
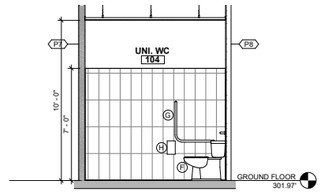


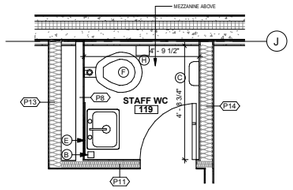
3 ENLARGE PLAN - UNIVERSAL WASHROOM
1/4" = 1'-0"



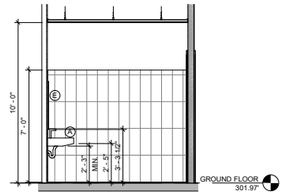
4 UNIVERSAL WASHROOM ELEVATION - WEST
1/4" = 1'-0"



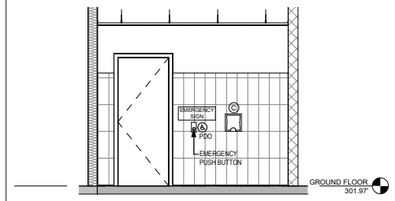
6 UNIVERSAL WASHROOM ELEVATION - SOUTH
1/4" = 1'-0"



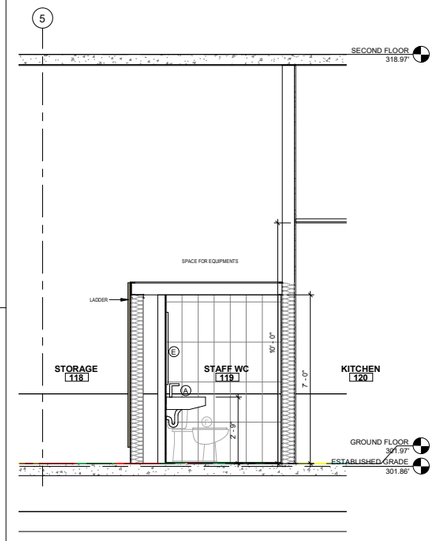
1 STAFF WASHROOM
3/8" = 1'-0"



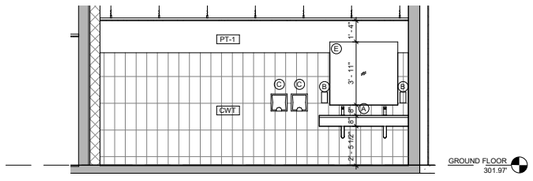
5 UNIVERSAL WASHROOM ELEVATION - NORTH
1/4" = 1'-0"



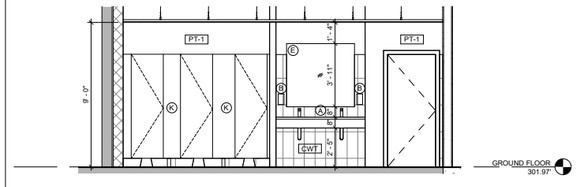
7 UNIVERSAL WASHROOM ELEVATION 4
1/4" = 1'-0"



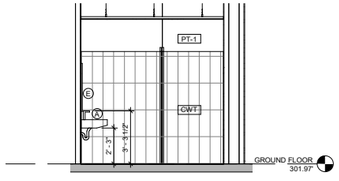
2 STAFF WASHROOM SECTION PLAN
3/8" = 1'-0"



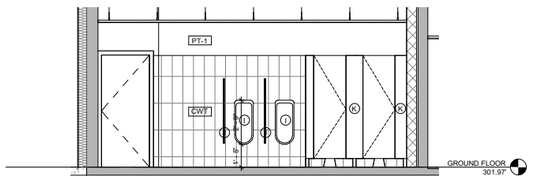
8 MEN WASHROOM ELEVATION - WEST
1/4" = 1'-0"



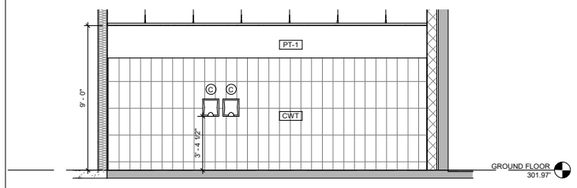
9 WOMEN WASHROOM ELEVATION - WEST
1/4" = 1'-0"



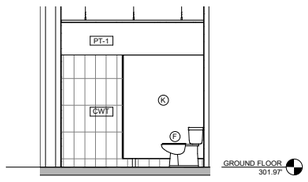
10 WOMEN WASHROOM ELEVATION - NORTH
1/4" = 1'-0"



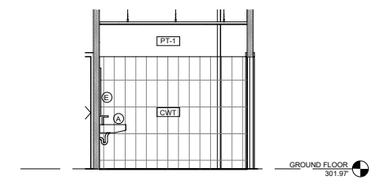
11 MEN WASHROOM ELEVATION - EAST
1/4" = 1'-0"



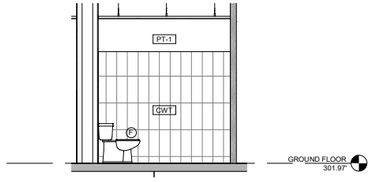
12 WOMEN WASHROOM ELEVATION - EAST
1/4" = 1'-0"



13 WOMEN WASHROOM ELEVATION - SOUTH
1/4" = 1'-0"



14 MEN WASHROOM ELEVATION - NORTH
1/4" = 1'-0"



15 MEN WASHROOM ELEVATION - SOUTH
1/4" = 1'-0"

ABBREVIATIONS

TPD	TOILET PAPER DISPENSER
SND	SANITARY NAPKIN DISPENSER
PTD/R	PAPER TOWEL DISPENSER/ RECEPTACLE
SNR	SANITARY NAPKIN RECEPTACLE
SD	SOAP DISPENSER
M	MIRROR

WASHROOM FIXTURE SCHEDULE

MARK	FIXTURE
A	LAVATORY
B	SOAP DISPENSER
C	HAND DRYER
D	COAT HOOK
E	MIRROR
F	FLOOR MOUNTED WATER CLOSET
G	GRAB BARS
H	TOILET PAPER DISPENSER
I	URINAL
J	URINAL PARTITION
K	TOILET PARTITION

NOTES

1. FOR GENERAL NOTES AND LEGEND AND WALL TYPES, REFER TO DRAWING A1.2.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS. WORK BETWEEN TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. ROOM FINISH REFER TO ROOM FINISH SCHEDULE ON DRAWING A5.1.
4. ALL FIXUTRES IN UNIVERSAL WASHROOM SHALL COMPLY WITH OBC 3.8.3.12.
5. FOR FLOOR DRAIN LOCATIONS REFER TO MECHANICAL DDRAWINGS TYPICAL.

No.	Date:	Issued/Revision:	By

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
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Drawing Name :

WASHROOM & STAFF ROOM DETAIL & FINISH SCHEDULE

Scale :	As indicated	Project No :	00026
Drawn by :	Author	Drawing No :	A2.8
Checked by :	Checker		

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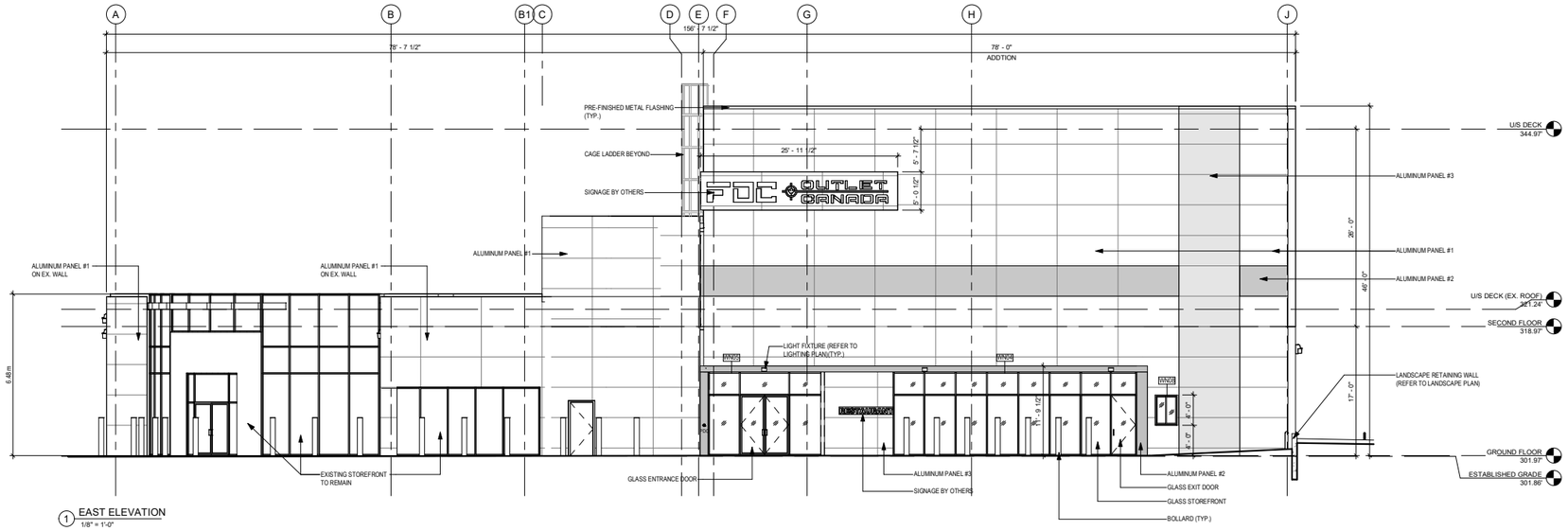
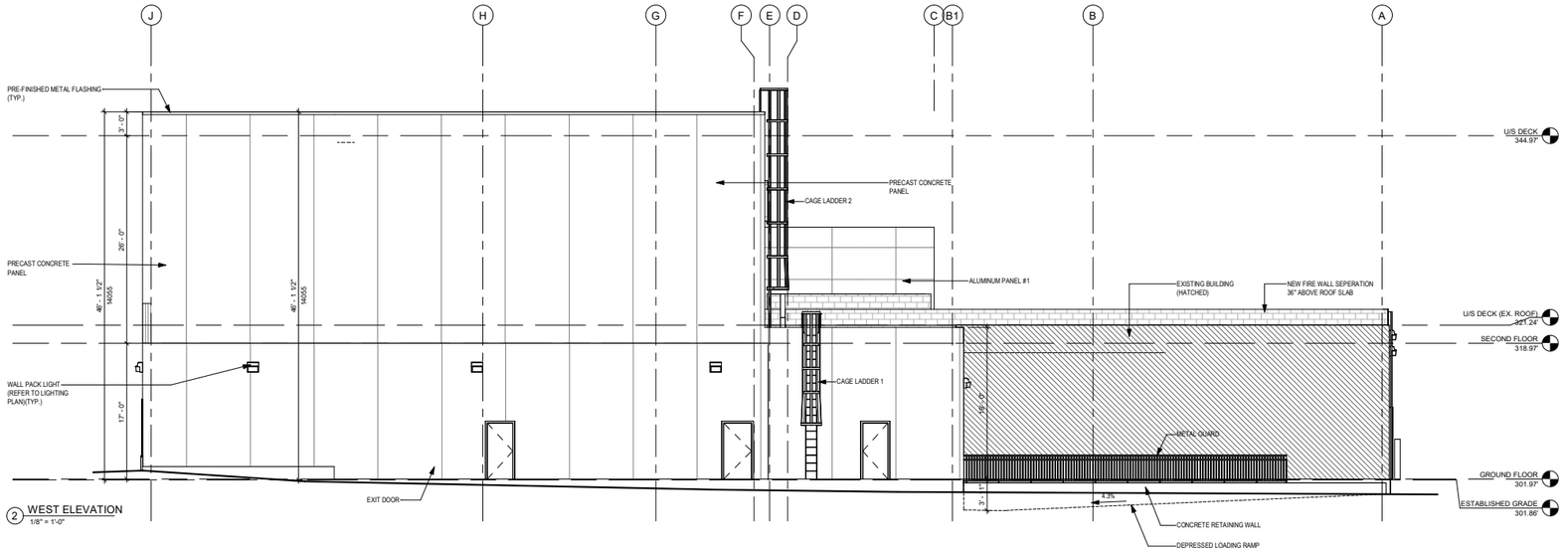


1 EAST ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

EXTERIOR WALL FINISH SCHEDULE

PRECAST CONCRETE PANEL IN LIGHT GREY	ALUMINUM PANEL #1	ALUMINUM PANEL #2	ALUMINUM PANEL #3
PROFORM CONCRETE	**ALPOLIC** ALUMINUM COMPOSITE PANEL OPT MICA PLATINUM	**ALPOLIC** ALUMINUM COMPOSITE PANEL CNC CHARCOAL	**ALPOLIC** ALUMINUM COMPOSITE PANEL MPL MAPLE
* IMAGE FOR REFERENCE ONLY	* IMAGE FOR REFERENCE ONLY	* IMAGE FOR REFERENCE ONLY	* IMAGE FOR REFERENCE ONLY

Bird Friendly Design	Required	Proposed
Sum of total area of glazing on all elevation within 16 to 20m above grade (m^2)		0
Sum of total area of treated glazing on all elevations (minimum 90% of total area of glazing within 16-20m above grade) with visual markers (m^2)		0

No.	Date:	Issued/Revision:	By
8	03/19/2025	ISSUED FOR SPA	HW
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5	06/17/2024	ISSUED FOR REVIEW	HW
4	12/19/2023	ISSUED FOR REVIEW	HW
3	12/18/2023	ISSUED FOR COORDINATION	HW
2	12/08/2023	ISSUED FOR REVIEW	HW
1	08/10/2023	ISSUED FOR REVIEW	HW

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

BUILDING ELEVATIONS

Scale :	As indicated	Project No :	00026
Drawn by :	ZC	Drawing No :	A3.1
Checked by :	HW		

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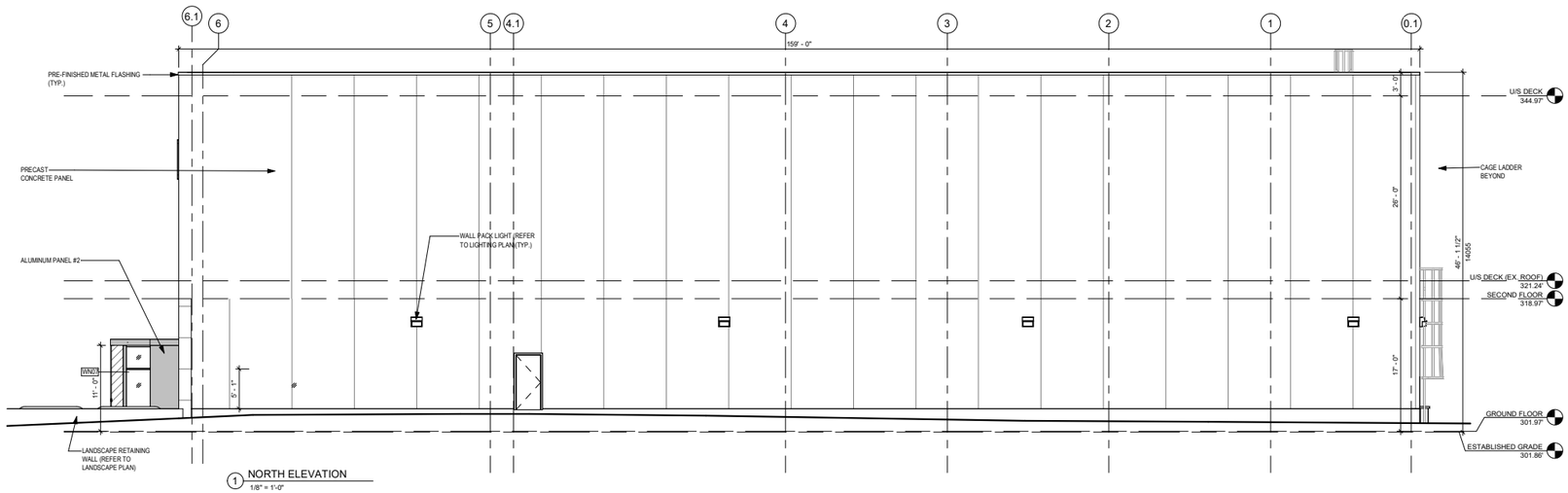
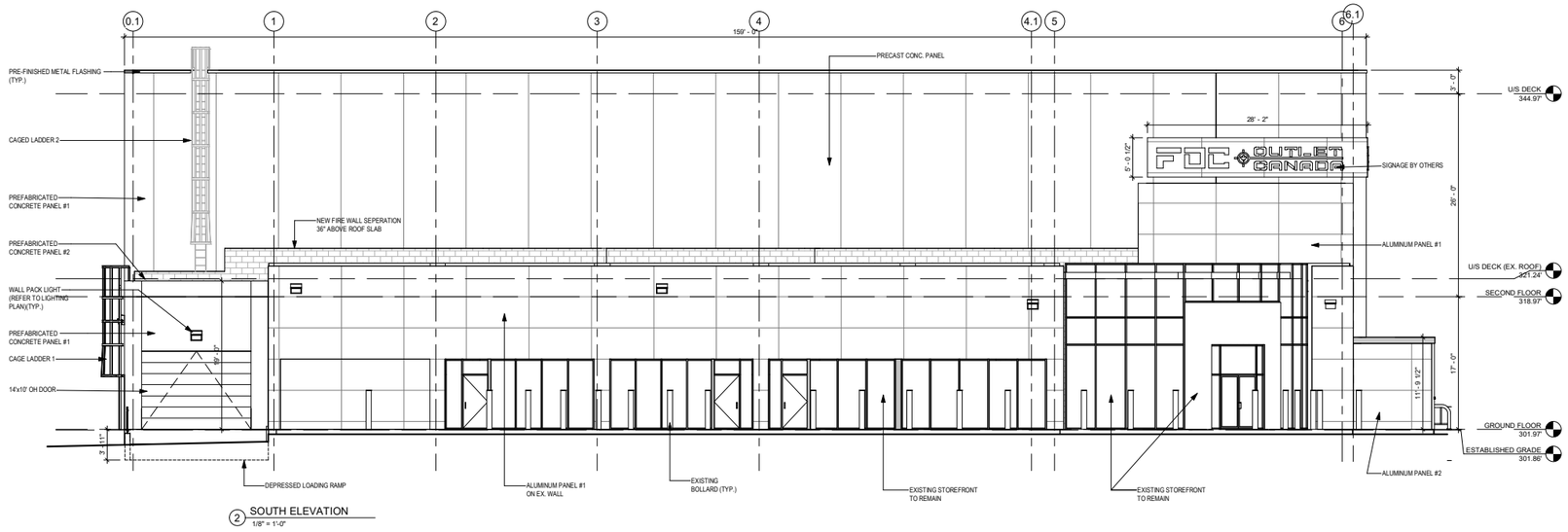


1 NORTH ELEVATION
1/8" = 1'-0"



2 SOUTH ELEVATION
1/8" = 1'-0"

EXTERIOR WALL FINISH SCHEDULE

PRECAST CONCRETE PANEL IN LIGHT GREY	ALUMINUM PANEL #1	ALUMINUM PANEL #2	ALUMINUM PANEL #3
PROFORM CONCRETE	**ALPOLIC** ALUMINUM COMPOSITE PANEL OPT MICA PLATINUM	**ALPOLIC** ALUMINUM COMPOSITE PANEL CNC CHARCOAL	**ALPOLIC** ALUMINUM COMPOSITE PANEL MPL MAPLE
* IMAGE FOR REFERENCE ONLY	* IMAGE FOR REFERENCE ONLY	* IMAGE FOR REFERENCE ONLY	* IMAGE FOR REFERENCE ONLY

No.	Date:	Issued/Revision:	By
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3	12/18/2023	ISSUED FOR COORDINATION	HW
2	12/08/2023	ISSUED FOR REVIEW	HW
1	08/10/2023	ISSUED FOR REVIEW	HW

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

BUILDING ELEVATIONS

Scale :	As indicated	Project No :	00026
Drawn by :	ZC	Drawing No :	A3.2
Checked by :	HW		

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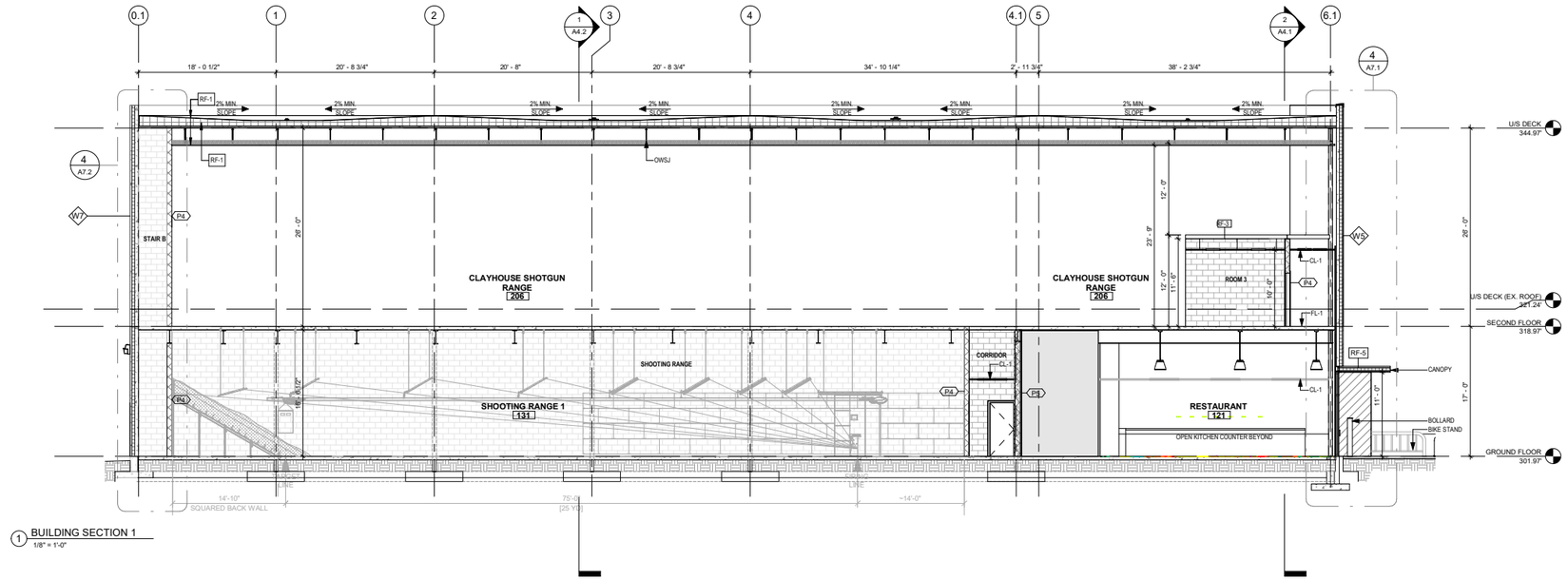
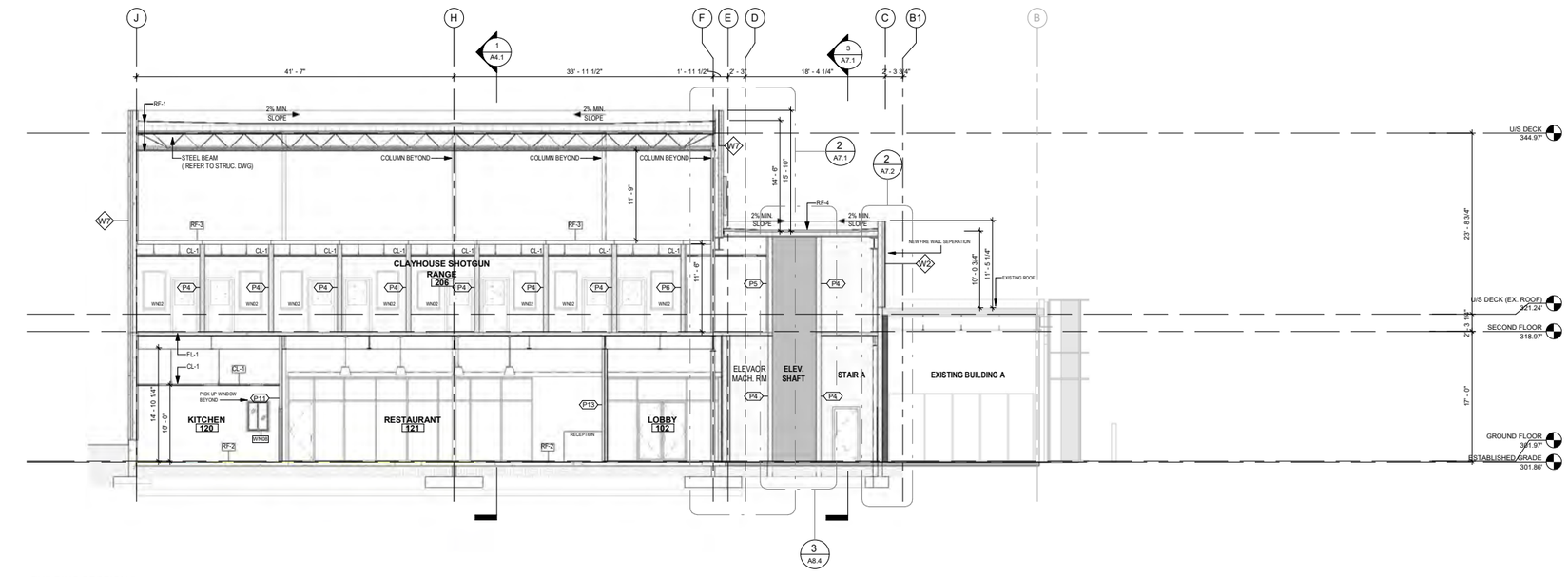


1 BUILDING SECTION 1
1/8" = 1'-0"



2 BUILDING SECTION 2
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No.	Date:	Issued/Revision:	By
4	03/19/2025	ISSUED FOR SPA	HW
3	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
2	06/17/2024	ISSUED FOR REVIEW	HW
1	12/19/2023	ISSUED FOR REVIEW	HW

Client:

FIREARMS OUTLET CANADA

WANG ARCHITECTS INC.
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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

BUILDING SECTIONS

Scale :	1/8" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A4.1
Checked by :	HW		

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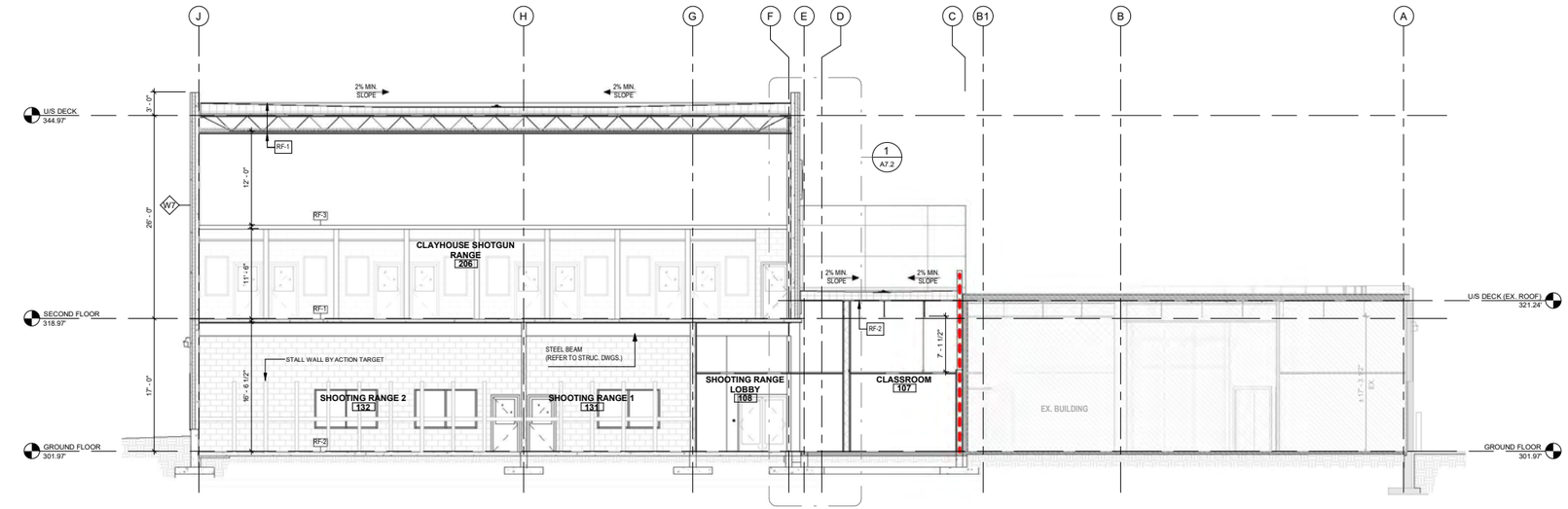
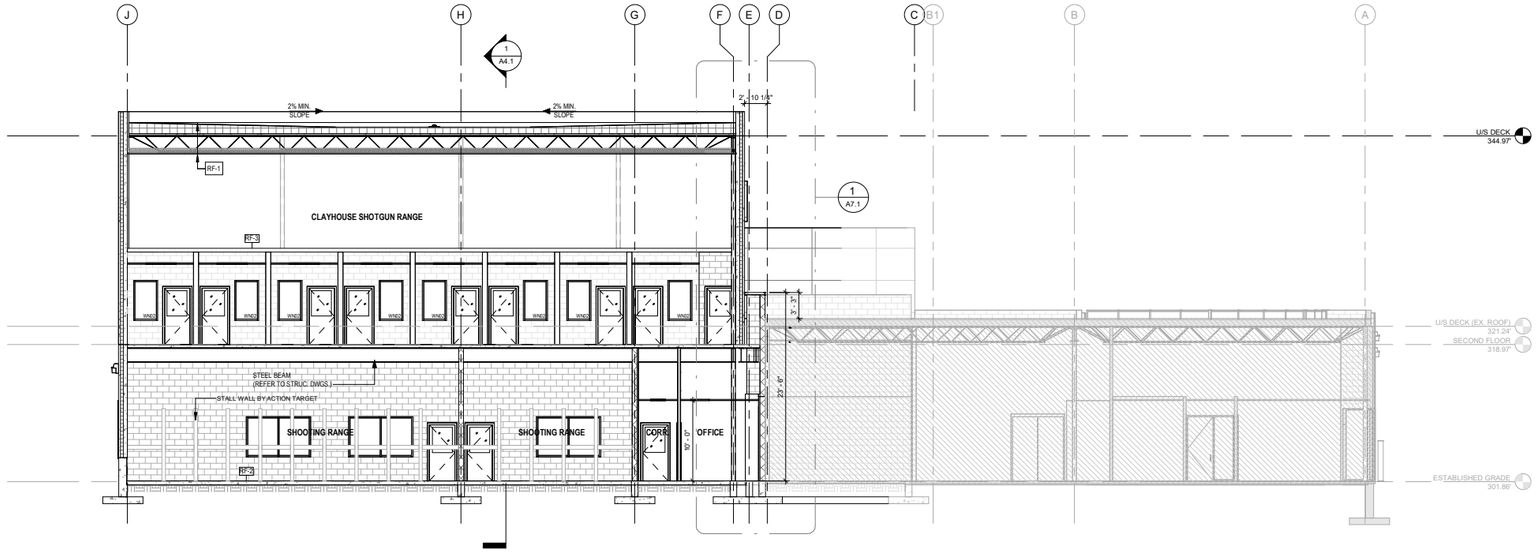


2 BUILDING SECTION 2A
1/8" = 1'-0"



1 BUILDING Section 3
1/8" = 1'-0"

No.	Date:	Issued/Revision:	By
3	06/21/2024	ISSUED FOR PRE-CON PHASE II	HW
2	06/17/2024	ISSUED FOR REVIEW	HW
1	12/19/2023	ISSUED FOR REVIEW	HW

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

BUILDING SECTIONS 2

Scale :	1/8" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A4.2
Checked by :	HW		

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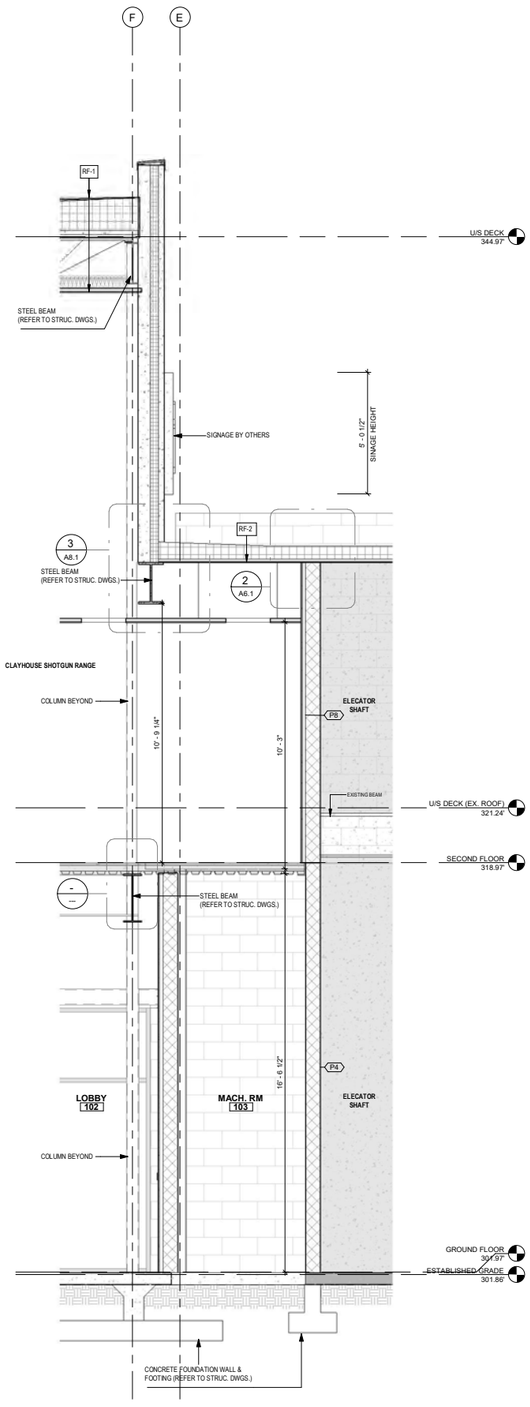

2 WALL SECTION 1
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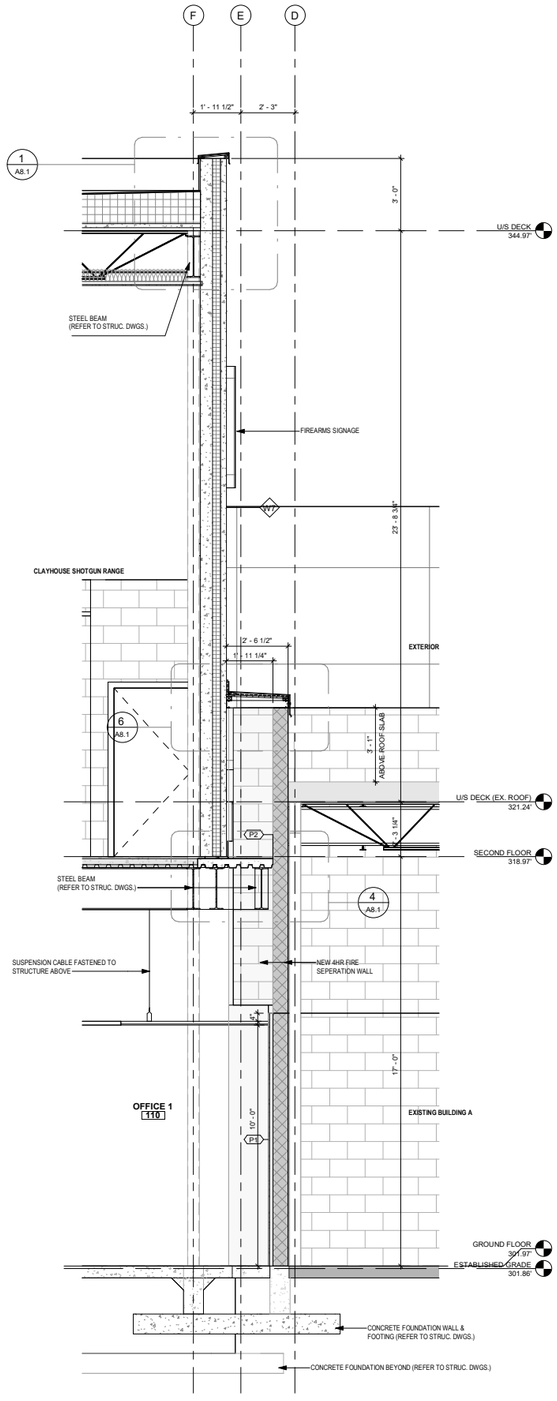

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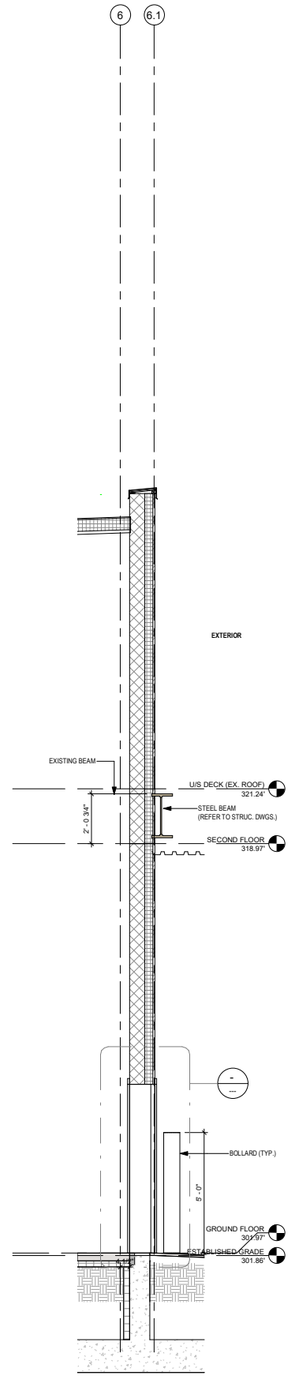
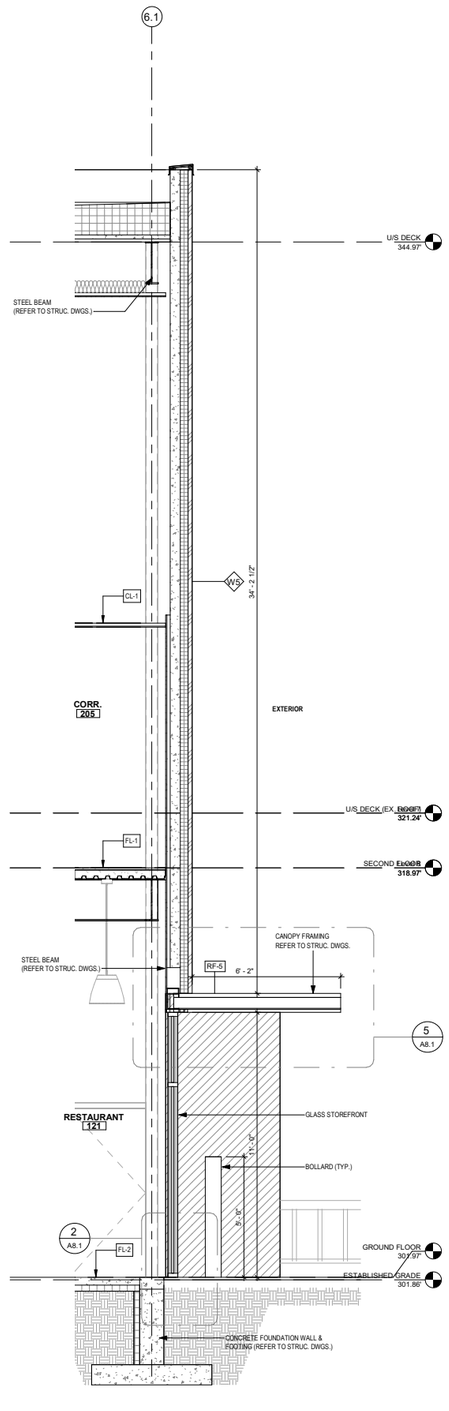


3 WALL SECTION 3
3/8" = 1'-0"



4 WALL SECTION 4
3/8" = 1'-0"

No.	Date:	Issued/Revision:	By

Client:

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WANG ARCHITECTS INC.
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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
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Drawing Name :

WALL SECTION

Scale :	3/8" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A7.1
Checked by :	HW		

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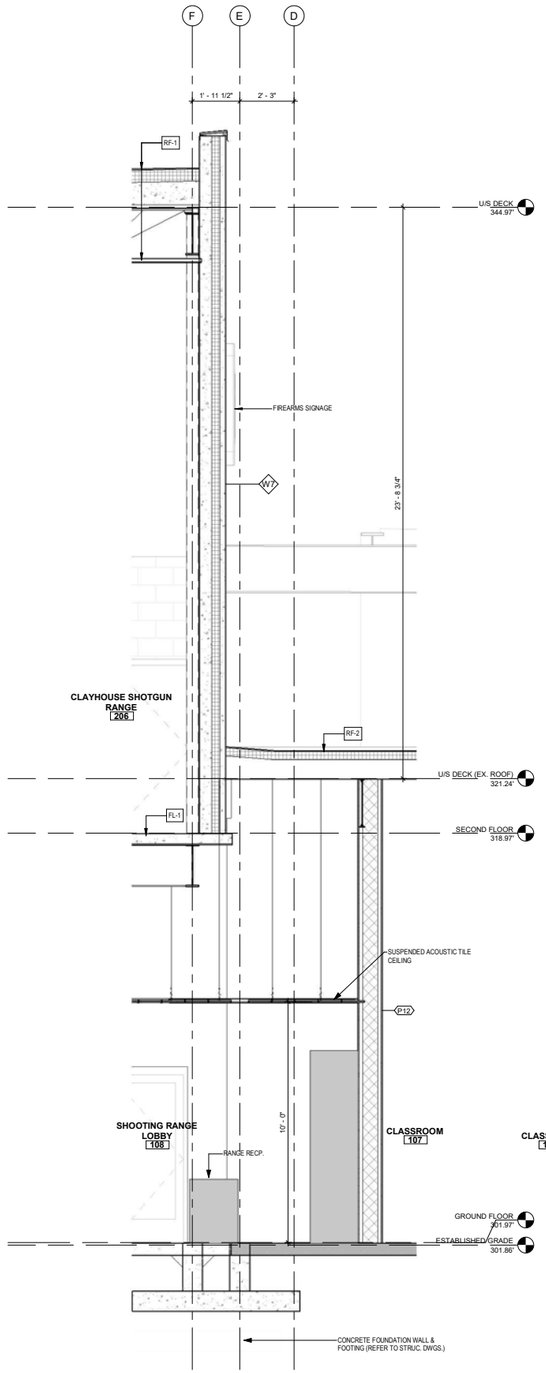

1 BUILDING SECTION 2 - Callout 1
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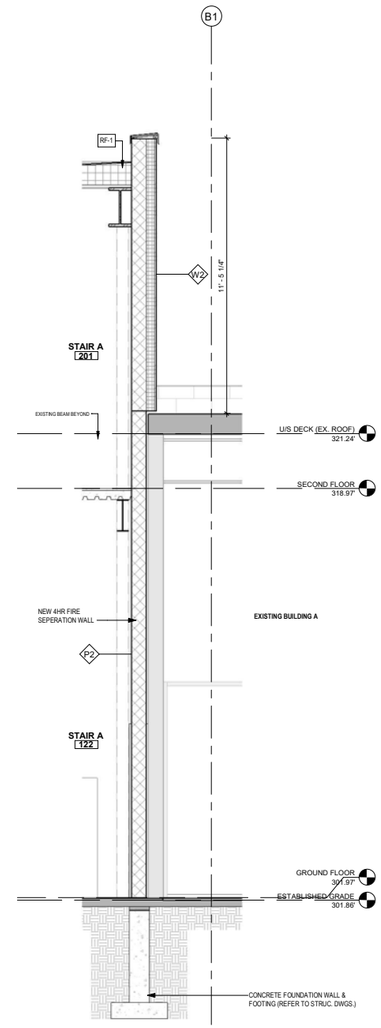

2 BUILDING SECTION 2 - Callout 2
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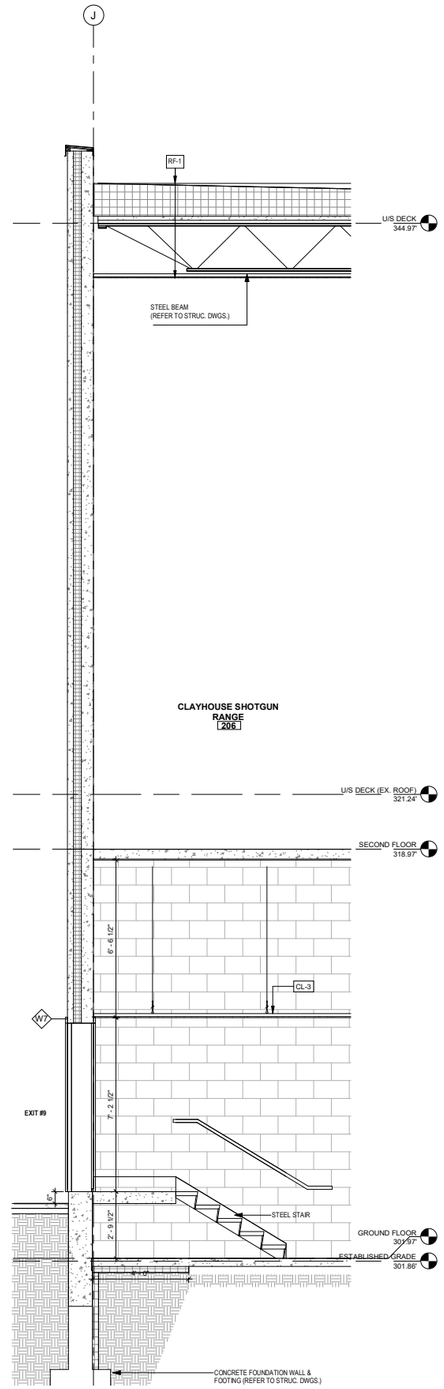
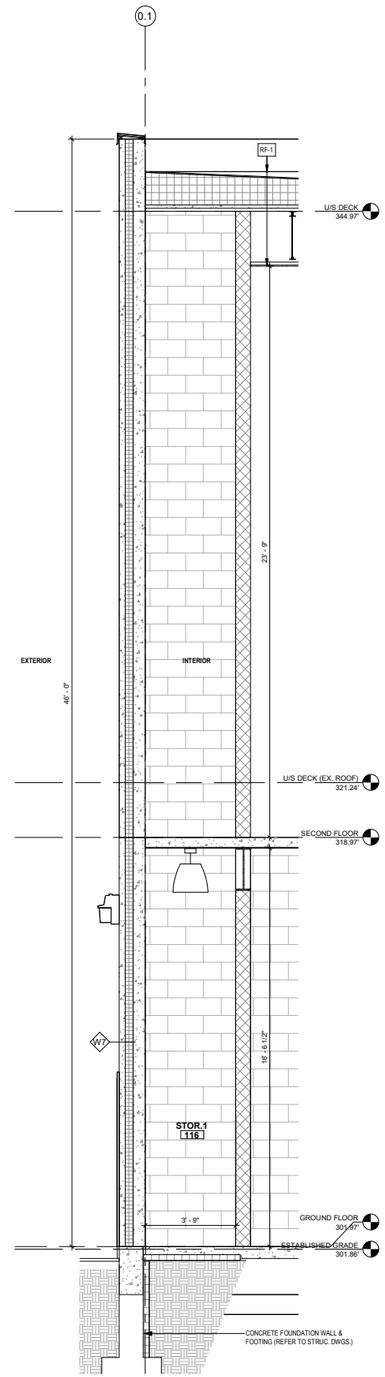


3 Section 8
3/8" = 1'-0"



4 BUILDING SECTION 1 - Callout 2
3/8" = 1'-0"

No.	Date:	Issued/Revision:	By

Client:

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

WALL SECTION

Scale :	3/8" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A7.2
Checked by :	HW		

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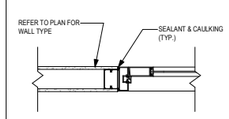
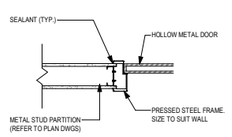
DOOR SCHEDULE

Mark	Remarks	Door Type	Width	Height	Door Material	Door Finish	Glazing	Thickness	Frame Type	Jamb	Frame Material	Frame Finish	FIRE RATING	Latch	Lock	Self Closure	Exit Device	Privacy Lock	Door Stop	Kick Plates	Signage
DR101	ENTRANCE	A	6' - 4"	7' - 9"	ALUM. FRAMED GLASS	CLEAR ANOD.	STGL		F1	J1	ALUM.	CLEAR ANOD.		•	•	•					
DR102	VESTIBULE	A	6' - 4"	7' - 9"	ALUM. FRAMED GLASS	CLEAR ANOD.			F1	J1	ALUM.	CLEAR ANOD.		•	•	•	•				
DR103	ELEVATOR MACHINE ROOM	C	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT			•			•			•
DR104	UNIVERSAL WASHROOM	C	3' - 2"	8' - 0"	HM	PT		2"	F2	J2	HM	PT		•		•			•		
DR105	WOMENS WASHROOM	C	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT		•		•					•
DR106	MENS WASHROOM	C	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT		•		•					•
DR107	SHOOTING RANGE ENTRANCE	F	6' - 0"	7' - 0"	ALUM. FRAMED GLASS	CLEAR ANOD.	STGL		F1	J1	ALUM.	AN		•	•	•					
DR108	GUN LOCKER	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT		•		•					
DR109	OFFICE 1	C	3' - 2"	7' - 0"	HM	PT		2"	F2	J2	HM	PT						•			
DR110	OFFICE 2	C	3' - 2"	7' - 0"	HM	PT		2"	F2	J2	HM	PT						•			
DR111	SERVICE CORRIDOR	C	3' - 2"	7' - 0"	HM	PT		2"	F2	J2	HM	PT		•		•					
DR112	SERVICE DOOR	B	3' - 6"	7' - 0"	ALUM	AN		2"	F2	J2	ALUM.	AN	3HR	•		•					
DR113	OFFICE 3	C	3' - 2"	7' - 0"	HM	PT		2"	F2	J2	HM	PT						•			
DR114	ELECTRICAL ROOM	D	3' - 6"	7' - 0"	HM	PT		2"	F2	J2	HM	PT		•	•	•					•
DR115	MECHANICAL ROOM	D	3' - 6"	7' - 0"	HM	PT		2"	F2	J2	HM	PT	45MINS	•	•	•					•
DR116	STORAGE 1	C	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT									
DR117	EXIT DOOR 11	B	3' - 6"	7' - 0"	ALUM	AN		2"	F2	J3	ALUM.	AN	45 MINS	•		•	•				
DR118	EXIT DOOR 10	B	3' - 2"	7' - 0"	ALUM	AN		2"	F2	J4	ALUM.	AN	45MINS	•		•	•				
DR119	SHOOTING RANGE CORRIDOR	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT				•					•
DR120	SHOOTING RANGE ROOM	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT				•					
DR121	SHOOTING RANGE ROOM	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT				•					
DR122	EXIT DOOR 9	B	3' - 2"	7' - 0"	INSUL. HM	AN		2"	F2	J4	INSUL-HM	AN	45 MINS			•					
DR123	STAFF WASHROOM	C	2' - 4"	7' - 0"	HM	PT		2"	F2	J2	HM	PT									
DR124	DOOR NEXT TO PICKUP WINDOW	B	3' - 2"	7' - 9"	ALUM	AN	STGL		F2	J3	ALUM.	AN				•					
DR125	EXIT DOOR 6	B	3' - 0"	7' - 0"	ALUM	AN		2"	F2	J3	ALUM.	AN				•					
DR126	STAIR A FR. WALL DOOR	B	3' - 0"	7' - 0"	ALUM	AN		2"	F2	J2	ALUM.	AN	3HR			•					
DR141	STAIR A GROUND FL	D	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT	45 MINS			•					•
DR142	CLASSROOM	C	3' - 2"	7' - 0"	HM	PT		2"	F2	J2	HM	PT									
DR144	KITCHEN STORAGE	C	2' - 6"	7' - 0"				2"													
DR146	STAIR C VESTIBULE	B	3' - 2"	7' - 0"	INSUL. HM	PT		2"	F2	J4	INSUL-HM					•					
DR201	STAIR A SECOND FLOOR	D	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT	45 MINS			•					•
DR202	STORAGE 2 SECOND FLOOR	C	3' - 0"	7' - 0"	HM	PT		2"	F2	J2	HM	PT				•					
DR203	VESTIBULE 2 2ND FLOOR	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT				•					
DR204	VESTIBULE 2 2ND FLOOR	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT				•					
DR205	CORRIDOR	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT				•					
DR206	ROOM 1	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR207	ROOM 2	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR208	ROOM 3	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR209	ROOM 4	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR210	ROOM 5	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR211	ROOM 6	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR212	ROOM 7	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR213	ROOM 8	E	3' - 2"	7' - 0"	HM	PT	STGL	2"	F2	J2	HM	PT									•
DR214	STAIR B 2ND FL	D	3' - 0"	7' - 0"	INSUL. HM	PT		2"	F2	J4	HM	PT	45 MINS			•					
DR215			3' - 2"	7' - 0"				2"													

JAMB DETAILS



DOOR JAMB DETAI "J1"



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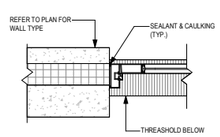

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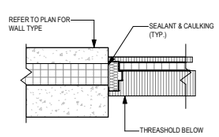
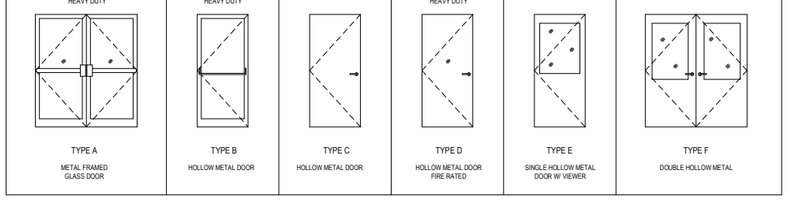
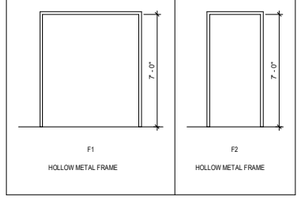


DOOR JAMB DETAI "J4"

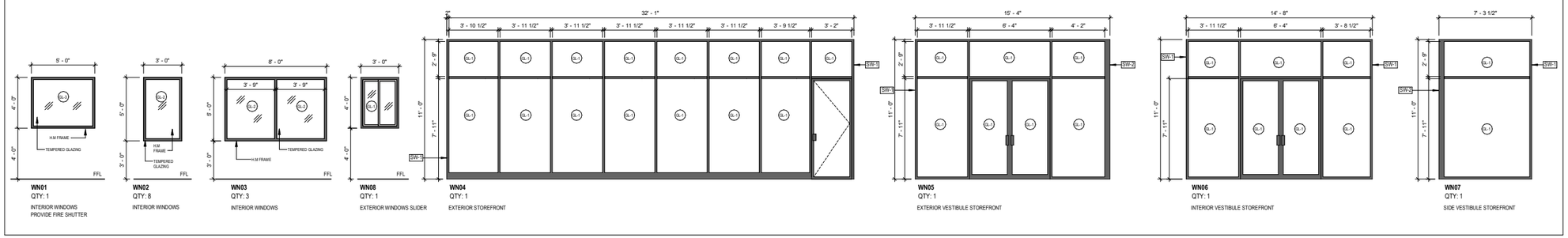
DOOR TYPES



FRAME TYPES



WINDOW SCHEDULE



DOOR & WINDOW SCHEDULE NOTES

1. REFER TO PLAN DRAWINGS FOR DOOR AND WINDOW LOCATIONS.
2. READ ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE ARCHITECTURAL SPECIFICATIONS INTERFACE DISCIPLINE (CIVIL, STRUCTURAL, MECHANICAL, HVAC, PLUMBING AND ELECTRICAL) AND WORK BETWEEN TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
3. DIRECTIONS OF SWING AND ORIENTATION FOR ALL DOORS ARE TO BE DETERMINED FROM FLOOR PLANS.
4. ALL EXISTING DOORS ARE NOT NUMBERED.
5. ALL EXTERIOR METAL DOORS SHALL BE INSULATED AND WEATHER STRIPPED AND THE CAVITY BEHIND AND AROUND THE FRAMES SHALL BE FILLED W/ POLYURETHANE INSULATION.
6. DOOR AND WINDOW ASSEMBLIES TO MEET THE REQUIREMENTS OF SB10 OF THE OBC.
7. DOOR AND WINDOW MANUFACTURER(S) TO SITE VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO FABRICATION.
8. ALL METAL DOORS ARE TO BE INSTALLED W/ MIN. 3 HINGES. HEAVY-DUTY HINGES THROUGHOUT.
9. GLASS DOORS AND WINDOWS SHALL BE CONSTRUCTED W/ TEMPERED SAFETY GLASS.
10. ALL DOORS WITHIN A BARRIER-FREE PATH OF TRAVEL SHALL BE INSTALLED W/ LEVER TYPE DOOR HANDLES.
11. ALL EXIT DOOR SHALL BE INSTALLED WITH EXIT HARDWARE THAT COMPLIES WITH OBC 3.3.1.12 AND 3.4.6.16.
12. OPAQUE STRIPS SHALL COMPLY WITH O.B.C. 3.8.3.3.(15).

ABBREVIATIONS

ANOD	ANODIZED
ALUM	ALUMINUM
DBL	DOUBLE
DTGL	DOUBLE TEMPERED GLASS
GALV	GAVANIZED
GWG	GEORGIAN WIRED GLASS
HM	HOLLOW METAL
INSUL	INSULATED
LH	LEFT HAND
RH	RIGHT HAND
RO	ROUGH OPENING
PS	PRESSED STEEL
STGL	SINGLE TEMPERED GLASS
TEMP	TEMPERED GLASS
PT	PAINT

WINDOW SCHEDULE NOTES

1. FOR LOCATION OF WINDOWS, REFER TO FLOOR PLAN DRAWINGS .
2. ALL DIMENSIONS ARE IN IMPERIAL UNLESS OTHERWISE NOTED.
3. READ THESE DRAWINGS IN CONJUNCTION WITH ALL INTERFACE DISCIPLINE DRAWINGS (STRUCTURAL, MECHANICAL, ELECTRICAL, AND LANDSCAPE DESIGN), AND WORK BETWEEN ALL TRADES SHALL BE COORDINATED PRIOR TO PROCEEDING WITH CONSTRUCTION.
4. FIELD VERIFY ROUGH OPENING PRIOR TO ALL WINDOW FABRICATION AND INSTALLATIONS.

WINDOW SCHEDULE LEGEND

TYPE	DESCRIPTION	REMARK
SW-1	2" X 5" BLACK ANODIZED	SINGLE GLAZED STOREFRONT SYSTEM
SW-2	5" X 5" BLACK ANODIZED	SINGLE GLAZED STOREFRONT SYSTEM
GL-1	LOW-E INSULATED CLEAR GLASS	LAMINATED SAFETY GLASS
GL-2	CLEAR TEMPERED GLASS	
GL-3	WIRED GLASS	

No.	Date:	Issued/Revision:	By

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

DOOR & WINDOW SCHEDULES

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A7.3
Checked by :	HW		

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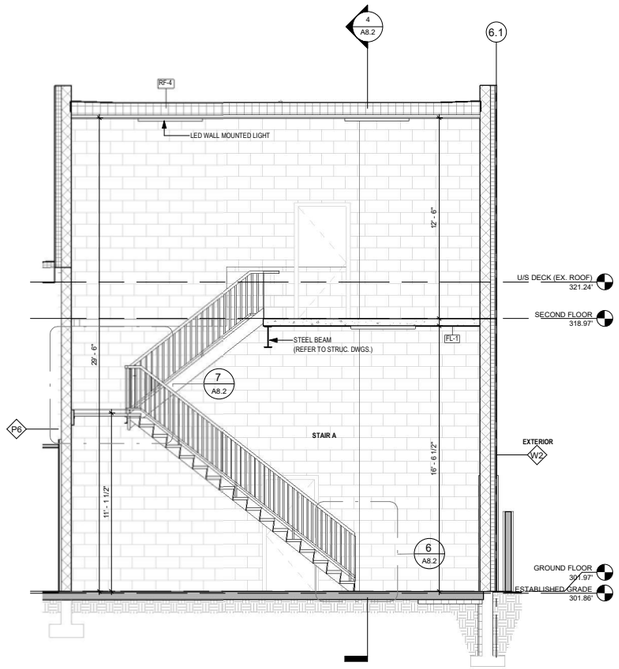
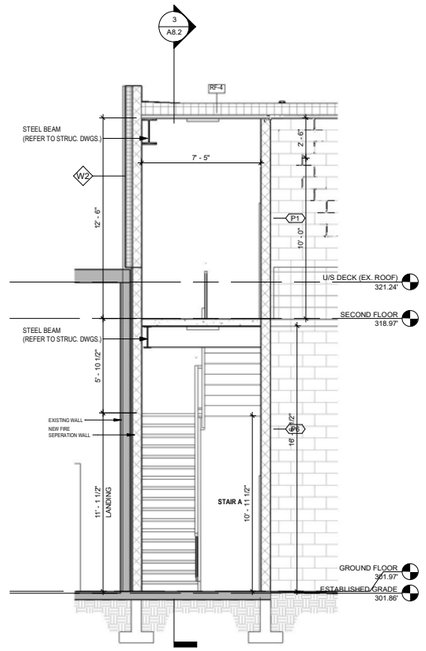
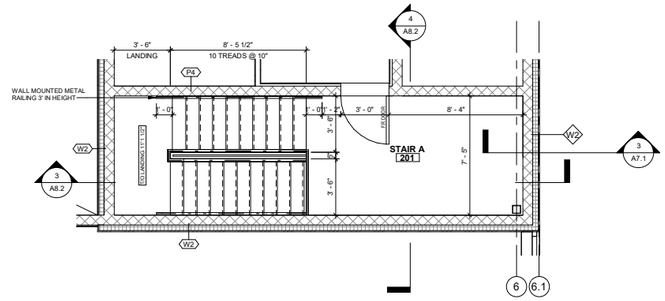


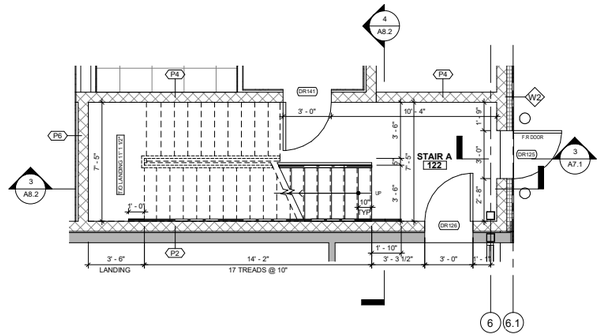
3 STAIR A SECTION A
1/4" = 1'-0"



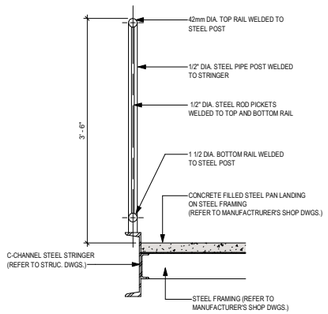
4 STAIR A SECTION B
1/4" = 1'-0"



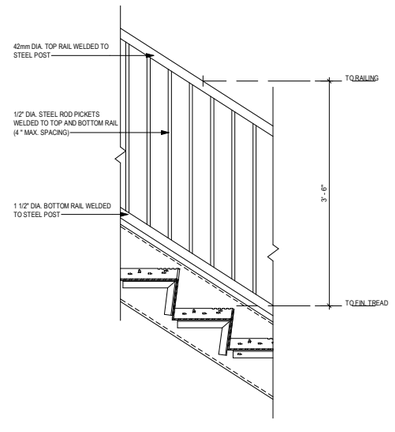
2 STAIR A SECOND FLOOR PLAN
1/4" = 1'-0"



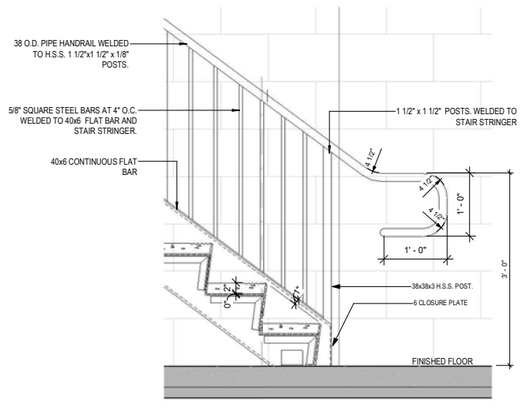
1 STAIR A GROUND FLOOR PLAN
1/4" = 1'-0"



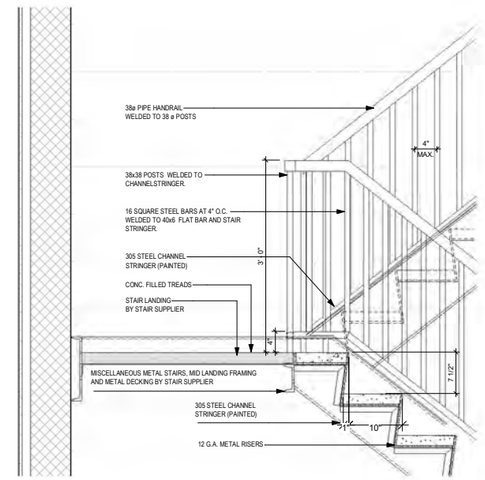
8 SECTION RAILING DETAIL
1" = 1'-0"



5 RAILING DETAIL
1" = 1'-0"



6 STEEL STAIR DETAIL
1" = 1'-0"



7 STEEL STAIR LANDING DETAIL
1" = 1'-0"

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
AJAX, ON L1S 7J7

Drawing Name :

STAIR A DETAILS

Scale :	As indicated	Project No :	00026
Drawn by :	JW	Drawing No :	A8.2
Checked by :	HW		

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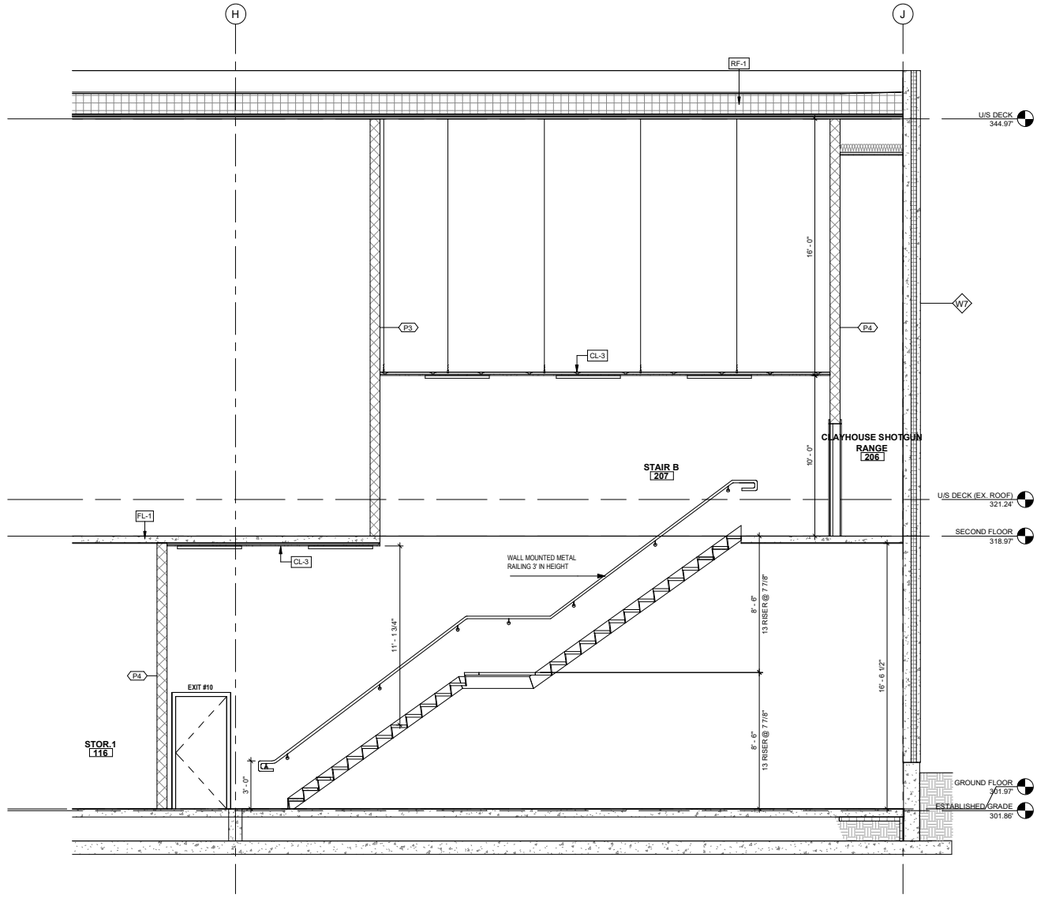
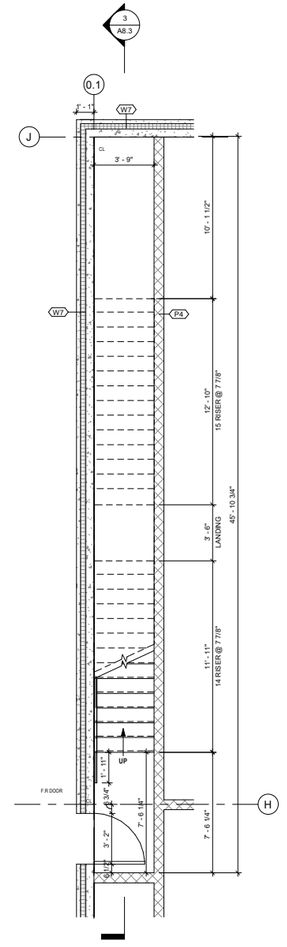
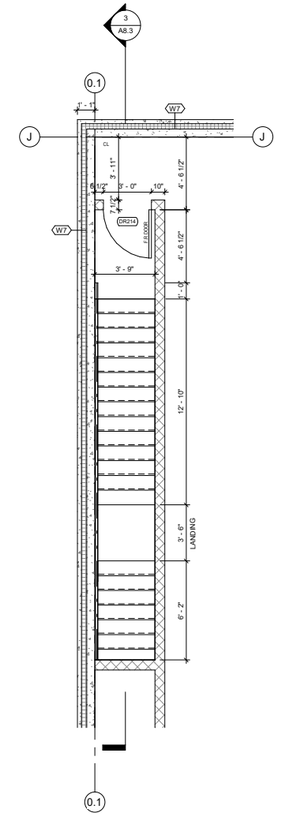


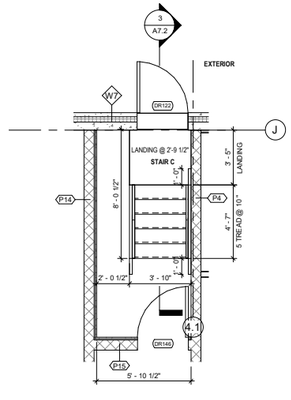
3 STAIR B SECTION
1/4" = 1'-0"



1 STAIR B GROUND FLOOR PLAN
1/4" = 1'-0"



2 STAIR B SECOND FLOOR PLAN
1/4" = 1'-0"



4 STAIR C ENLARGE PLAN
1/4" = 1'-0"

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FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
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Drawing Name :

STAIR B DETAILS

Scale :	1/4" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A8.3
Checked by :	HW		

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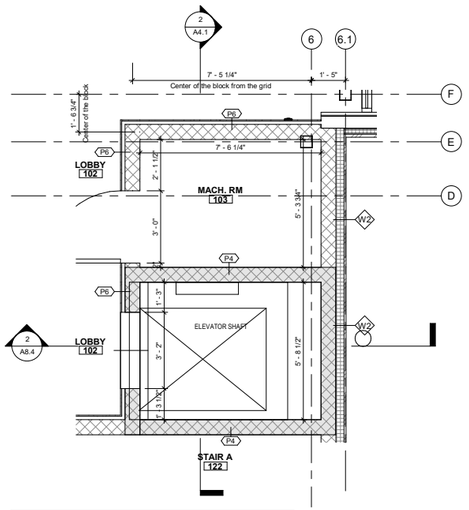
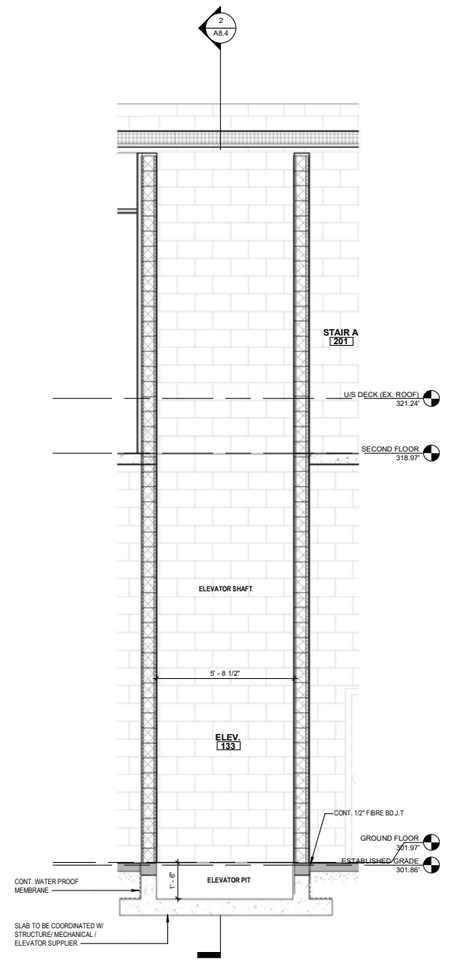
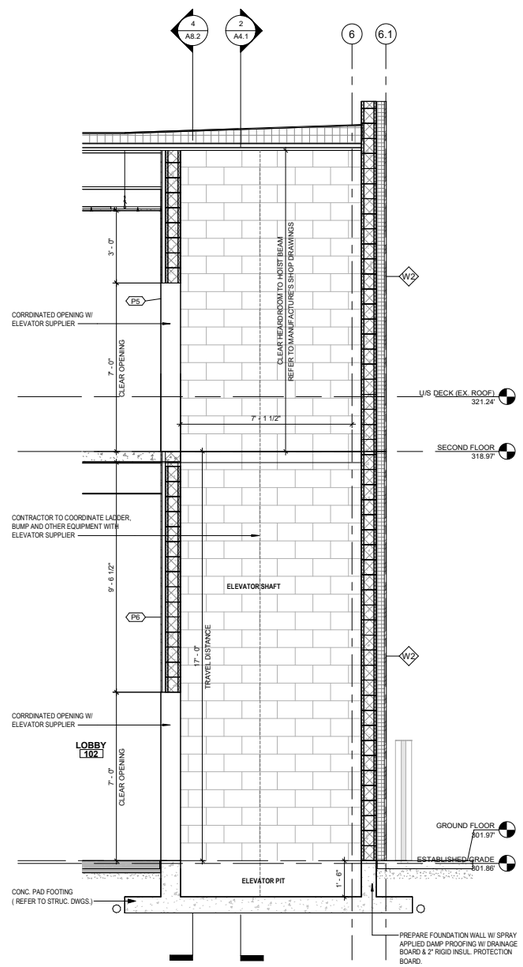


NOTE:
1. INDICATES DIMENSIONS REQUIRED BY MANUFACTURE'S PRODUCT CUTSHEET, CONFIRM W/ MANUFACTURER'S PRODUCT CUTSHEET PRIOR TO COMPLETING WORK.
2. REFER TO MANUFACTURE'S SHOP DRAWINGS

1 ENLARGE ELEVATOR PLAN
3/8" = 1'-0"



3 BUILDING SECTION 2 - Callout 3
3/8" = 1'-0"



2 ELEVATOR SECTION
3/8" = 1'-0"

NOTE:
REFER TO MECH. DWGS. FOR PIT DRAIN

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Drawing Name :

ELEVATOR SHAFT SECTION

Scale :	3/8" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A8.4
Checked by :	HW		

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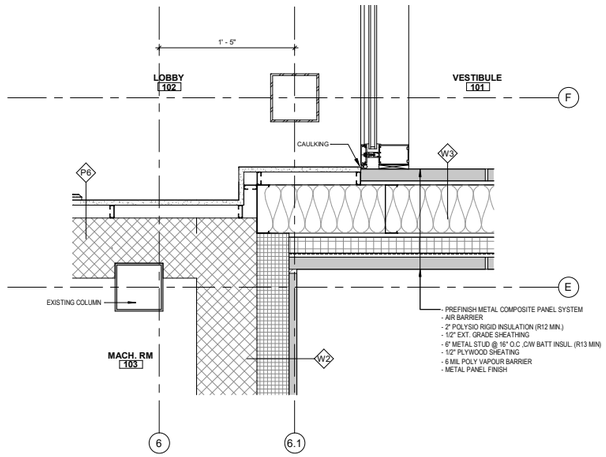
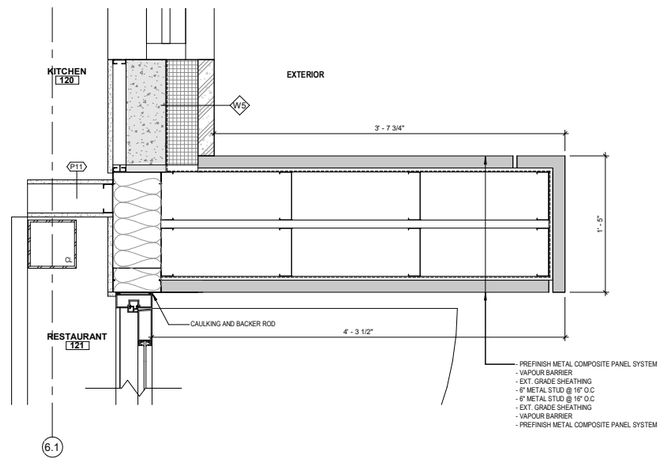
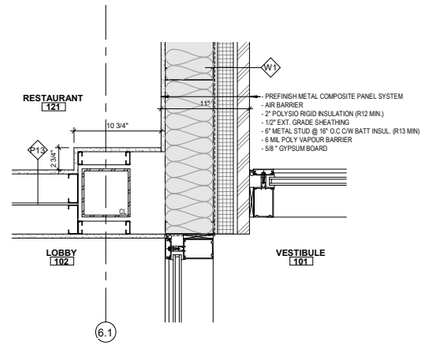


5 GROUND FLOOR PROPOSED PLAN - Callout 6
1 1/2" = 1'-0"



1 GROUND FLOOR PROPOSED PLAN - Callout 1
1 1/2" = 1'-0"



2 GROUND FLOOR PROPOSED PLAN - Callout 4
1 1/2" = 1'-0"

3 GROUND FLOOR PROPOSED PLAN - Callout 5
1 1/2" = 1'-0"

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Project :

FIREARMS OUTLET CANADA

725 WESTNEY RD. S.,
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Drawing Name :

PLAN DETAILS

Scale :	1 1/2" = 1'-0"	Project No :	00026
Drawn by :	JW	Drawing No :	A8.6
Checked by :	HW		

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