

PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONT	REMARKS
TREES						
BAF	6	Abies balsamea	Balsam Fir	150cm Ht.	W.B.	N
ACR	2	Acer rubrum	Red Maple	60mm Cal.	W.B.	
ACS	4	Acer saccharum	Sugar Maple	60mm Cal.	W.B.	
GLE	6	Gleditsia triacanthos	Honey Locust	60mm Cal.	W.B.	DT/N
PGW	8	Picea glauca	White Spruce	180cm Ht.	W.B.	DT/N
QMB	2	Quercus macrocarpa	Burr Oak	60mm Cal.	W.B.	DT/N, spring dug
TIL	3	Tilia americana	American Linden	60mm Cal.	W.B.	DT/N
SHRUBS						
CAL ACF	40	calamagrostis x acutiflora	Feather Reed Grass	1gal	Potted	DT
ECH PUR	10	Echinacea purpurea	Coneflower	1gal	Potted	DT
HEM ORO	18	Hemerocallis x 'Stella de Oro'	Stella de Oro Daylily	1gal	Potted	

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the "Landscape Completion Notification Certificate" from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner: _____

Name of Owner: _____

Address: _____

Date: _____

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect: _____

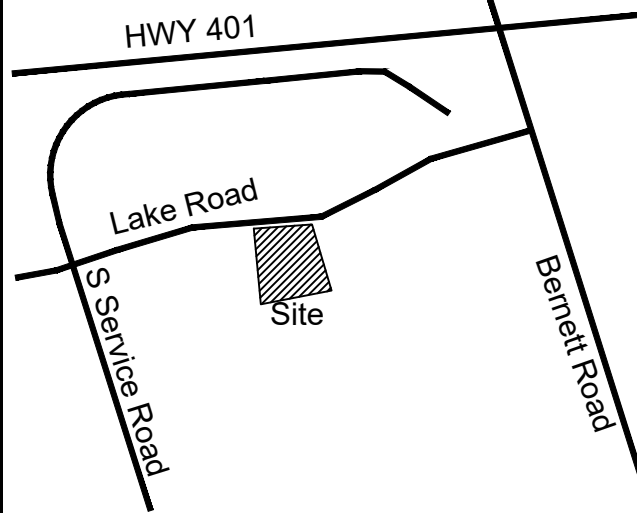
Name of Landscape Architect: KYLE FOCH

Date: 2025-07-23

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
Dry-Placed Stone			
	Armour Stone in Planting Bed	4	6/L-D1
12 FURNISHINGS			
	Maglin MLPT400-W MLPT400-W Series Cluster Seating. 750mm Height, 1580mm Length and 445mm Seat. H.S. steel tube and flat bar construction with Ipe Wood surface.	3	1/L-D2
	Maglin MLWR1050-PC MLWR1050-PC Trash Container. 755mm Height, 535mm Width and Depth. Formed steel frame construction with paper composite panels. 121 Litres. Frame: Black Gloss Panels: Sandstone HDPC	3	2/L-D2
	Maglin MBR400-7-S	2	8/L-D1
	Maglin MLB1050-W MLB1050-W Series Bench. 765mm Height, 1780mm Length and 420mm Depth. Formed steel frame construction with Ipe Wood slats.	2	12/L-D1
32 EXTERIOR IMPROVEMENTS			
	Tactile Walking Surface Indicator	8	9/L-D1
Concrete Paving			
	Concrete Paving with 200mm depth of 19mm Crusher Run Limestone	707.0 m ²	2/L-D1
Identification Devices			
	ACCESSIBLE PARKING SIGN	4	3/L-D1
Planting			
	SOD OVER 150MM TOPSOIL	2,986 m ²	1/L-D1

LOCATION MAP



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

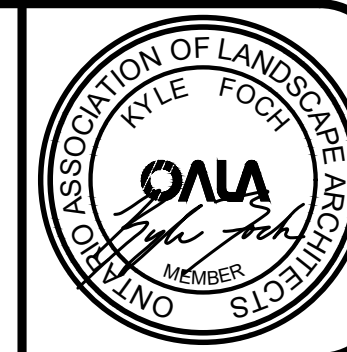
CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
2	2025-02-18	Update Landscape Plan	CT
1	2024-04-23	Prepare Landscape Plan	CT

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

<input type="checkbox"/> CONCEPTUAL	<input type="checkbox"/> TENDER
<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONTRACT
<input type="checkbox"/> SITE PLAN	<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> PERMIT	<input type="checkbox"/> AS-BUILT



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SEALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

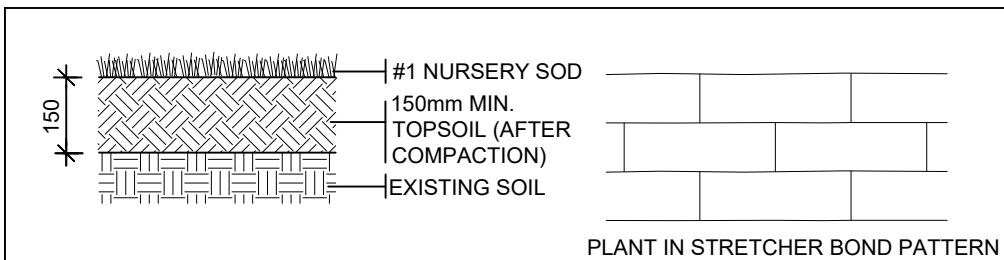
SPA FILE #

PROJECT: 725 Lake Road
Bowmanville, ON

DRAWING: LANDSCAPE PLAN

DRAWN BY: CT	SCALE: 1:250	L-L1 DRAWING 1 of 3
CHECKED BY: TM	DATE: 2024-04-23	
JOB NO.: 2024-004		

File #2024-004



SECTION

PLAN VIEW

SOD: SOD SHALL BE CERTIFIED No. 1 CULTIVATED SOD AS SCHEDULED, GROWN AND SOLD IN ACCORDANCE WITH CLASSIFICATION OF THE NURSERY SOD GROWERS ASSOCIATION OF ONTARIO. IT MUST BE FIBROUS AND WELL ROOTED, FREE FROM STONES, MOTTLED OR DEAD GRASS AND PERENNIAL WEEDS AND SHALL HAVE BEEN SUBJECT TO REGULAR MOWING AND TREATMENT WITH SELECTIVE WEED KILLER AND INSECTICIDES DURING THE PREVIOUS GROWING SEASON. THE SOD MUST BE ROLLED IN SUCH A MANNER AS TO PREVENT TEARING DURING HANDLING. THE SOD MUST BE TRANSPORTED AND LAID WITHIN FOUR (4) DAYS OF LIFTING AND SHALL BE PROTECTED DURING TRANSPORTATION TO PREVENT DRYING OUT. DRIED OUT UNHEALTHY SOD WILL NOT BE ACCEPTED ON SITE. SHOULD THERE BE AN UNAVOIDABLE DELAY IN INSTALLATION THE SOD MUST BE KEPT COOL AND MOIST UNTIL IT IS LAID.

FERTILIZER: SPREAD PRE-SODDING FERTILIZER (10 to 10) AT THE RATE OF 75 GRAMS PER SQ. M. AT LEAST ONE (1) WEEK BEFORE THE SOD IS LAID USING AN APPROVED BROADCAST DISTRIBUTOR, WORKING IT INTO THE TOP 75mm OF SOIL BY CROSS-HARROWING OR RAKING.

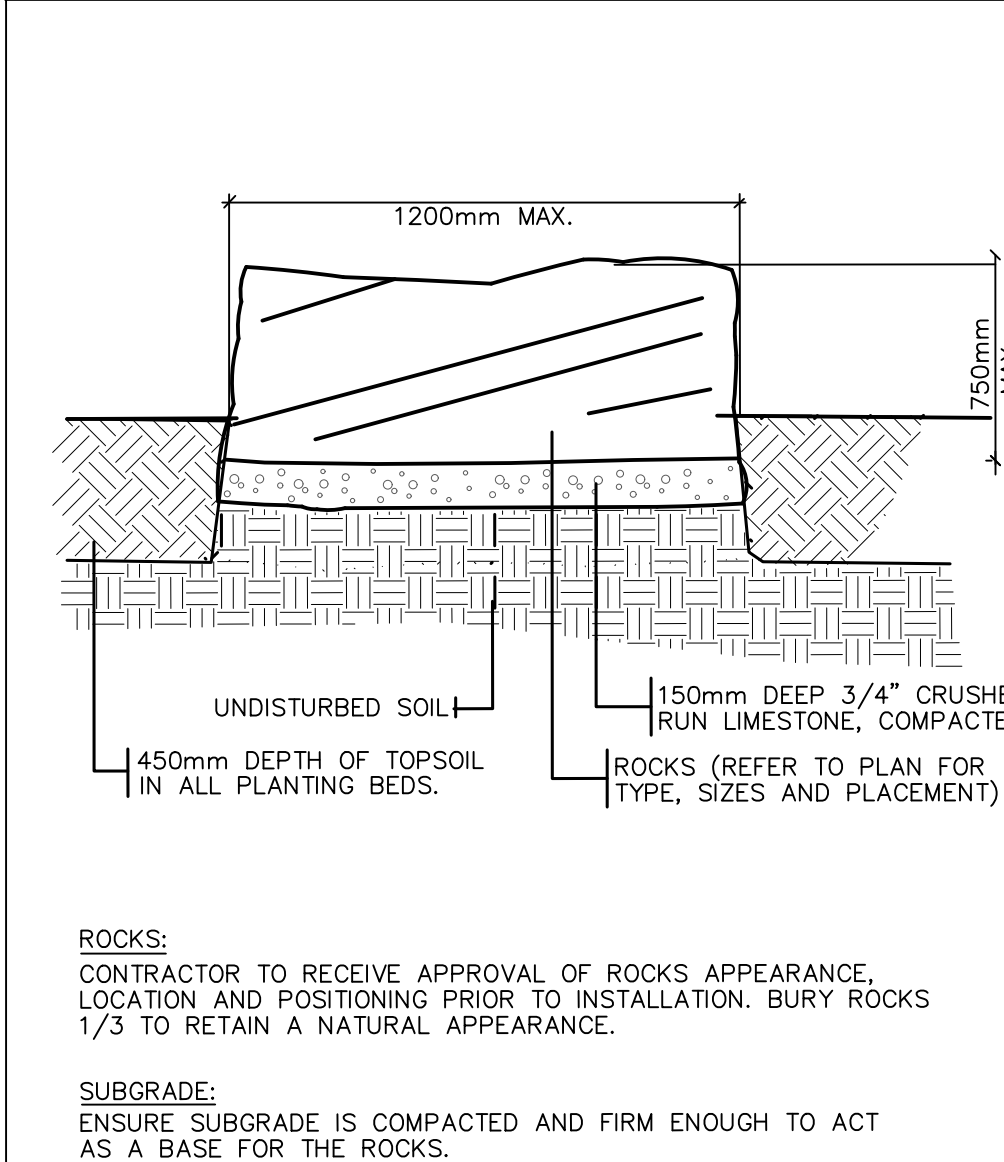
LAYING SOD: THE SURFACE OF THE SOIL MUST BE RAKED LEVEL OR TO FORM EVEN FLOWING CONTOURS, AND WELL FIRMED BUT LEAVING A FINE LOOSE TEXTURE BEFORE THE SOD IS LAID. THE SOD SHALL BE LAID IN ROWS COMMENCING AT A POINT CLOSE SOIL ACCESS SO THAT WORK PROCEEDS OVER THE SOD ALREADY LAID USING ADEQUATE TIMBER PLANKS TO SUPPORT WORKMEN AND WHEELBARROWS. SOD SHALL BE LAID IN STRETCHER BOND PATTERN (AS IN BRICK WALLS) WITH BROKEN CROSS JOINTS. THEY SHALL BE CLOSELY BUTTED TOGETHER LEAVING NO GAP AFTER THE SOD IS PROPERLY PLACED. THE SOD IS TO BE ROLLED TO INSURE GOOD CONTACT BETWEEN SOD AND UNDERLYING SOIL. ROLLING IS TO BE PERPENDICULAR TO THE DIRECTION IN WHICH THE SOD WAS LAID. ANY IRREGULARITIES SHALL BE ADJUSTED BY LIFTING AND RAKING OUT OR INFILLING WITH FINE SOIL. EDGES WILL ALWAYS BE LAID WITH WHOLE TURFS. THE FINISHED LEVEL OF THE TURF SHALL CONFORM TO THE LEVELS SHOWN ON THE DRAWINGS AND SHALL BE 20mm ABOVE PREVIOUS SOIL LEVEL. ADJOINING EXISTING TREES OR SHRUBS SOD MUST NOT BE LAID DURING SNOW OR FROSTY WEATHER OR ON EXCEPTIONALLY DRY OR WATERLOGGED GROUND. IMMEDIATELY AFTER INSTALLATION, THE CONTRACTOR MUST WATER THE SOD AND UPPER 150mm OF SOIL.

MOWING AND TRIMMING: DURING THE GROWING SEASON THE GRASS WILL BE CUT WITH AN APPROVED MACHINE AT REGULAR INTERVALS TO ENSURE THAT THE GRASS DOES NOT EXCEED 50mm HIGH. THE EDGES OF THE SODDED AREAS SHALL BE NEATLY TRIMMED BY HAND CLIPPING AT THE TIME OF EACH MOWING. HEAVY GRASS MOVINGS MUST BE REMOVED OR SPREAD ABOUT EVENLY IMMEDIATELY AFTER TRIMMING AND MOWING.

HANDOVER: AREAS WILL NOT BE ACCEPTED FOR HANDOVER ON THE SPECIFIED DATES IF FOR ANY OF THE FOLLOWING REASONS THE WORK IS NOT UP TO STANDARD: (A) IF THE SWARD HAS FAILED TO ESTABLISH ITSELF TO THE SATISFACTION OF THE OWNER. (B) IF THE GRASS IS DAMAGED BY FAILURE TO CARRY OUT MAINTENANCE OPTIONS. (C) IF PARTS OF GRASS ARE ONLY HALF-COMPLETED. (D) IF SINKAGE BELOW FINISHED LEVEL HAS OCCURRED. (E) THE GRASS AREAS AND SITE HAVE NOT BEEN CLEARED OF STONE, WEEDS AND OTHER RUBBISH. (F) IF RESODDED PATCHES HAVE NOT BECOME ESTABLISHED. THE CONTRACTOR IS TO CONTINUE TO MAINTENANCE OF THE GRASS UNTIL ACCEPTANCE AND IS RESPONSIBLE FOR A MINIMUM OF ONE CUT.

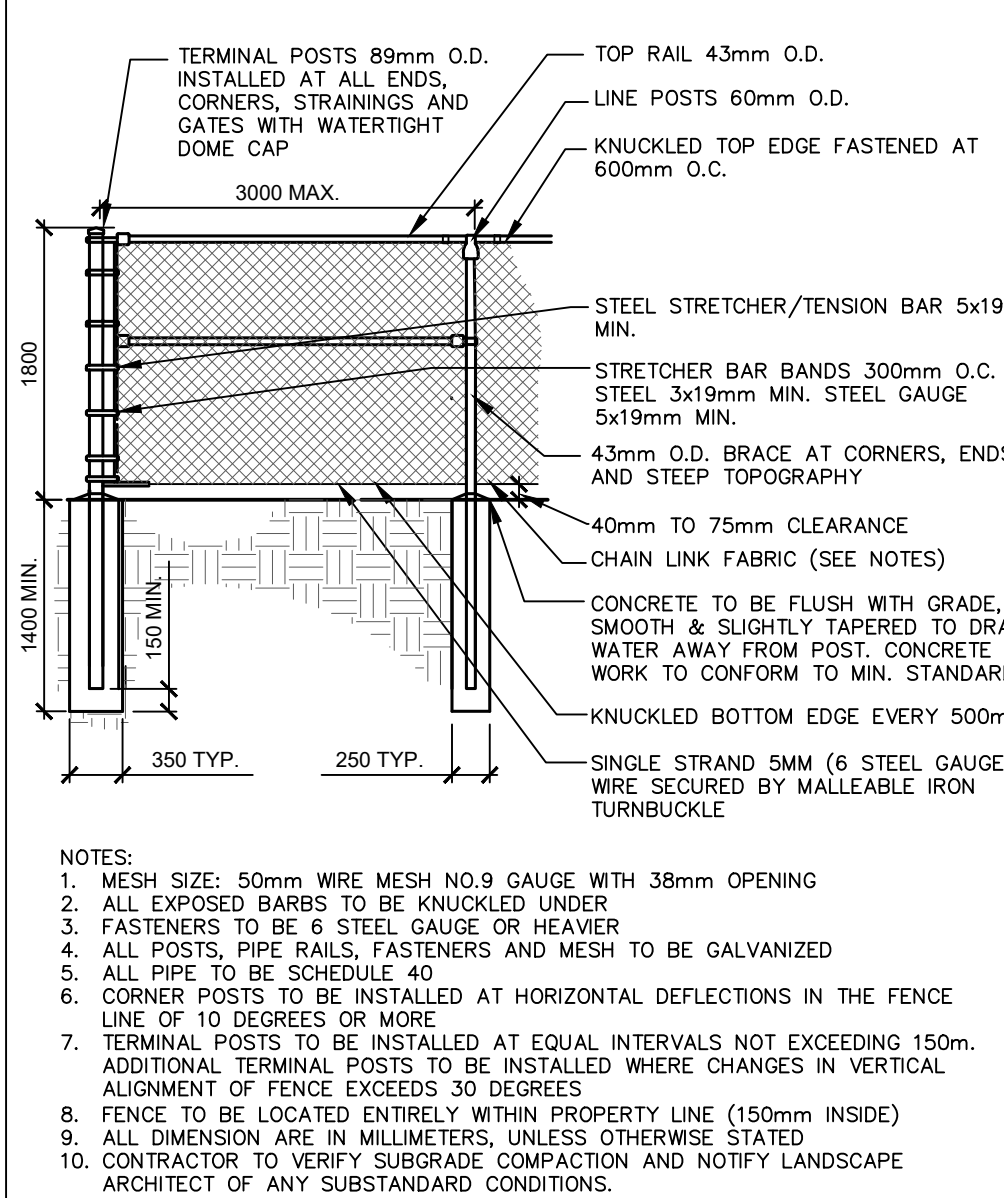
1 SOD OVER 150MM TOPSOIL

N.T.S. 329223-01



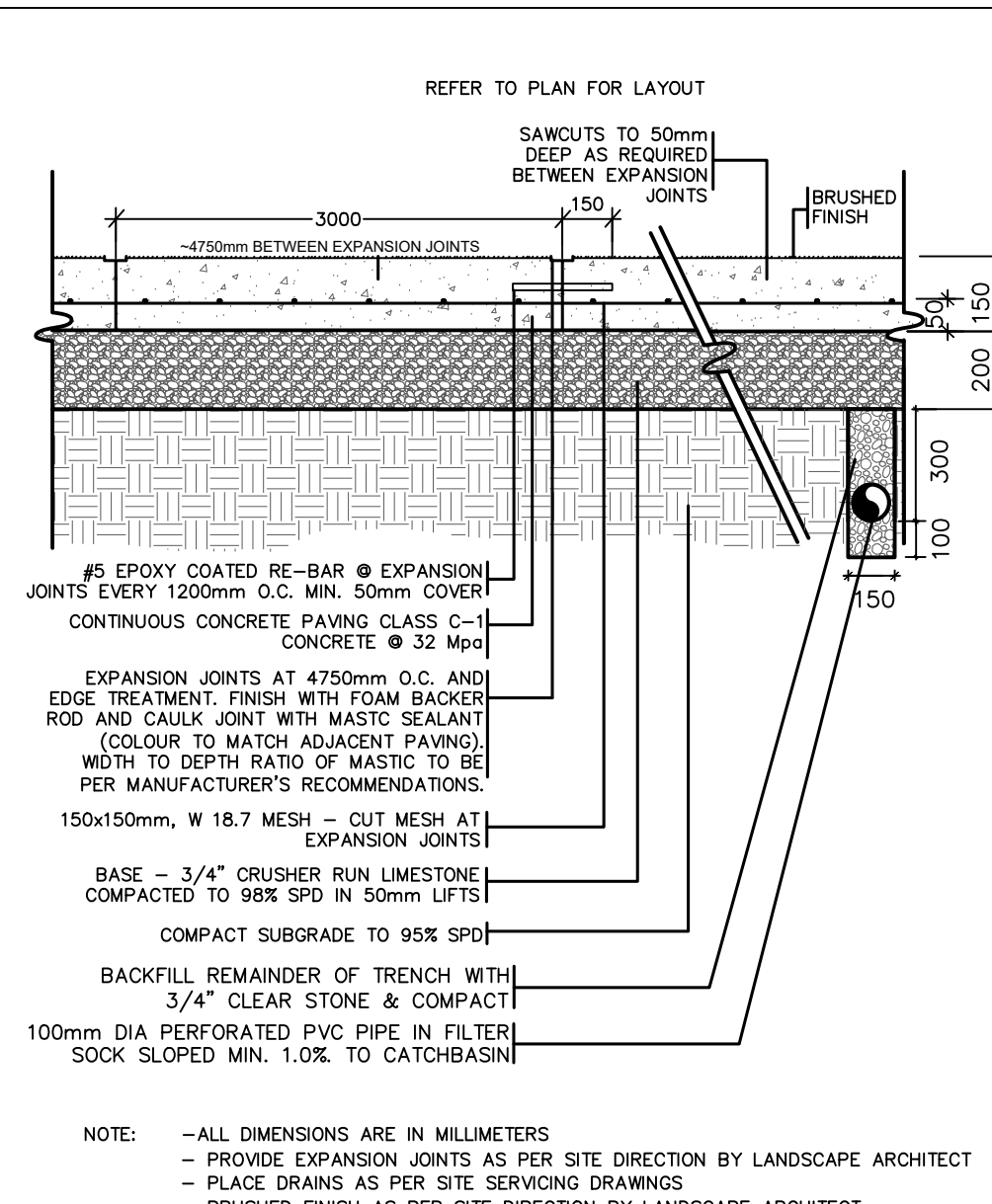
6 ARMORSTONE BOULDER IN PLANTING BED

N.T.S. 044125.01-01



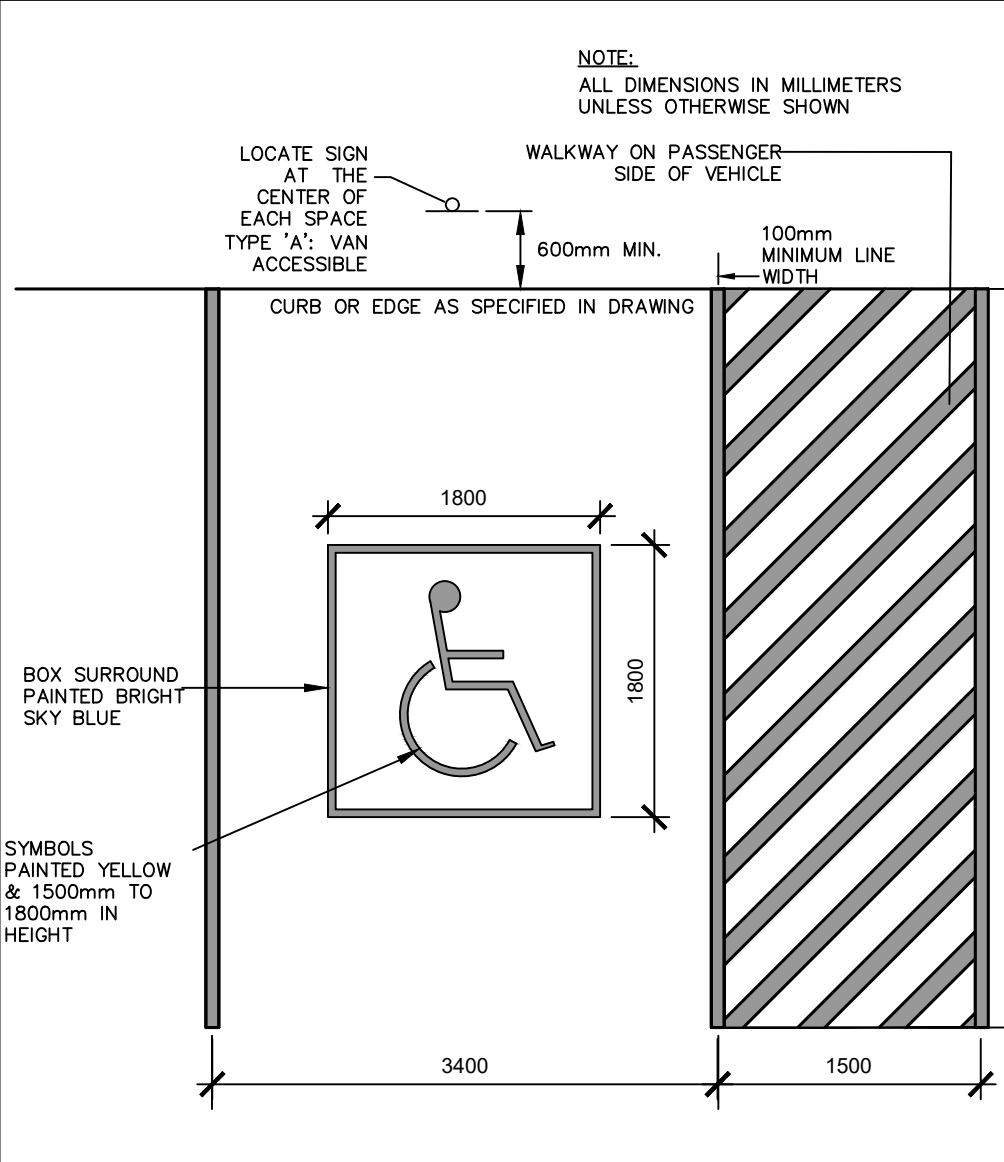
11 1.8M HT. CHAIN LINK FENCE WITH 50MM MESH

N.T.S. GALVANIZED 323113.13-13



2 NATURAL CONCRETE PAD W/ MESH WITH OPTIONAL DRAIN

N.T.S. 321313.13-13



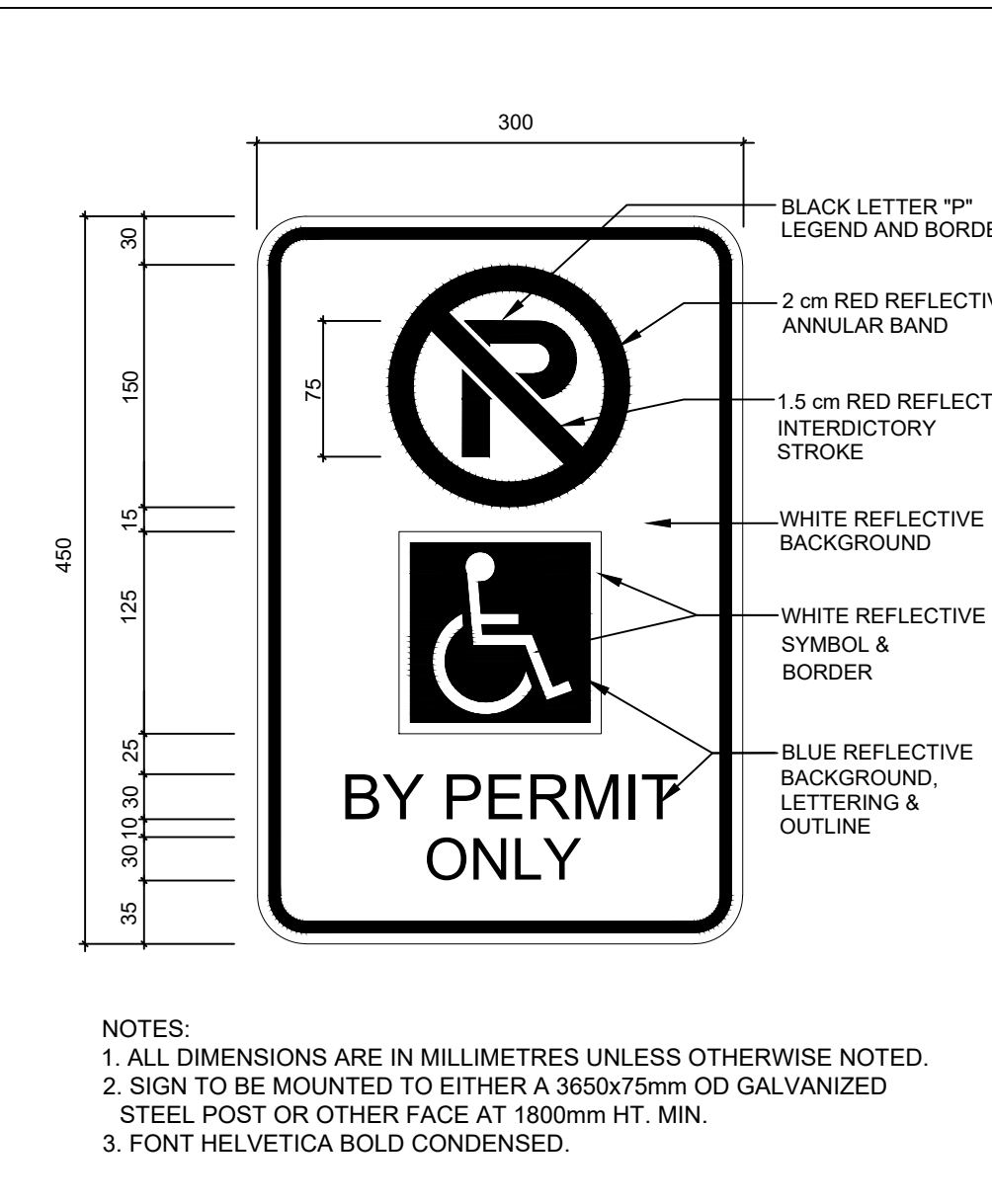
7 ACCESSIBLE PARKING STALL LINES

NTS 320120.30-04



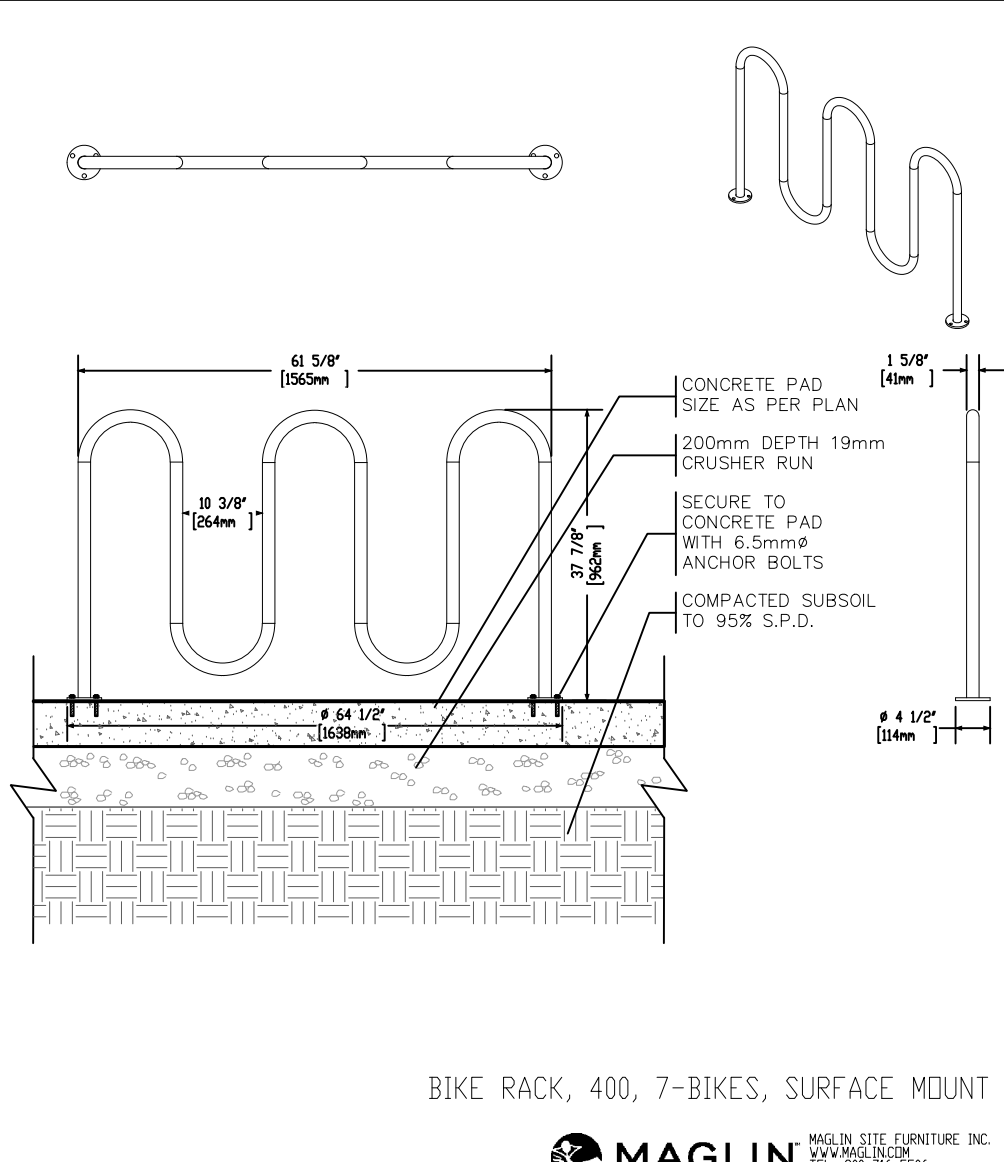
12 MAGLIN BENCH MLB1050BW

N.T.S. 129343.50-06



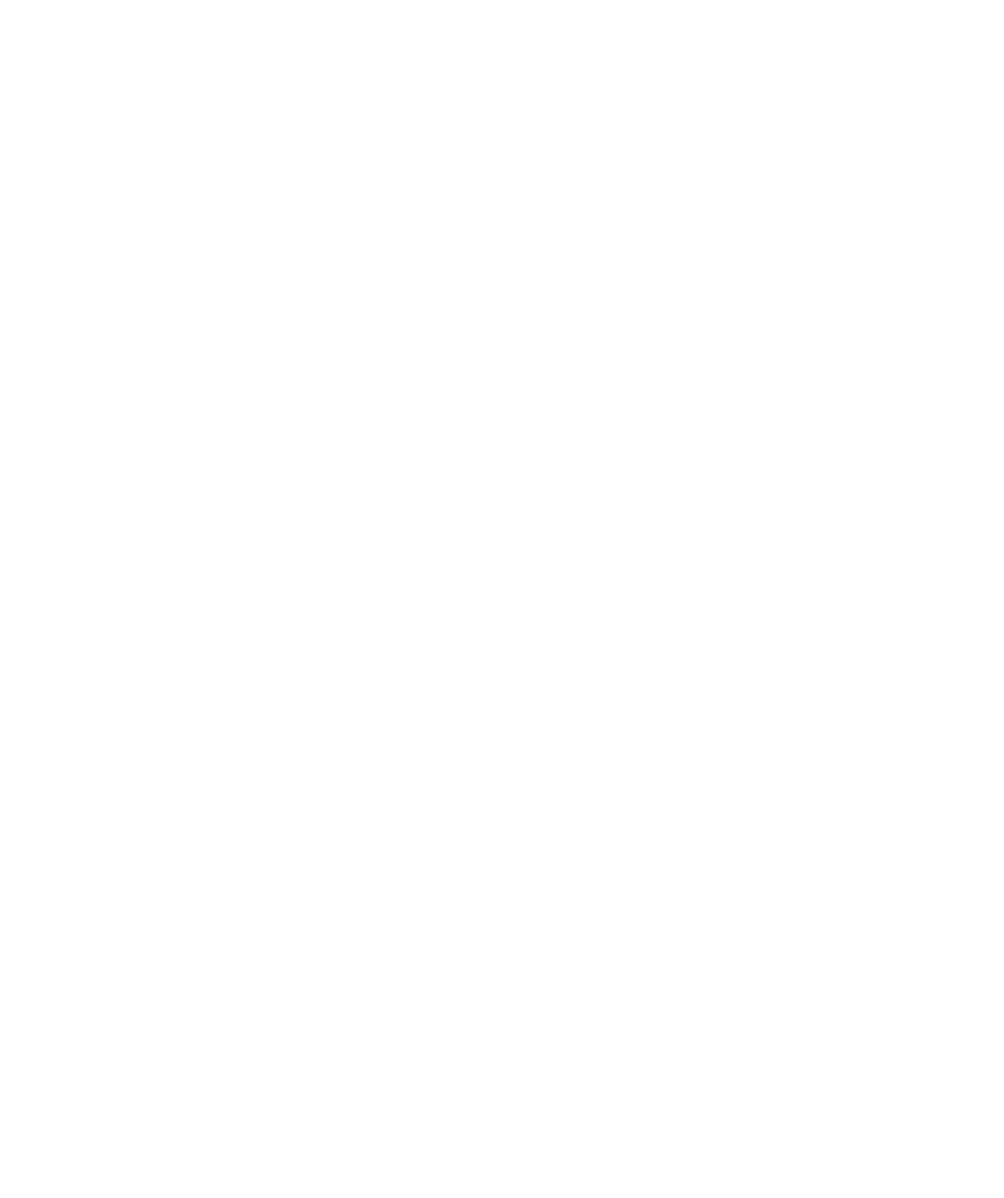
3 ACCESSIBLE PARKING SIGN

N.T.S. 324123.03-22



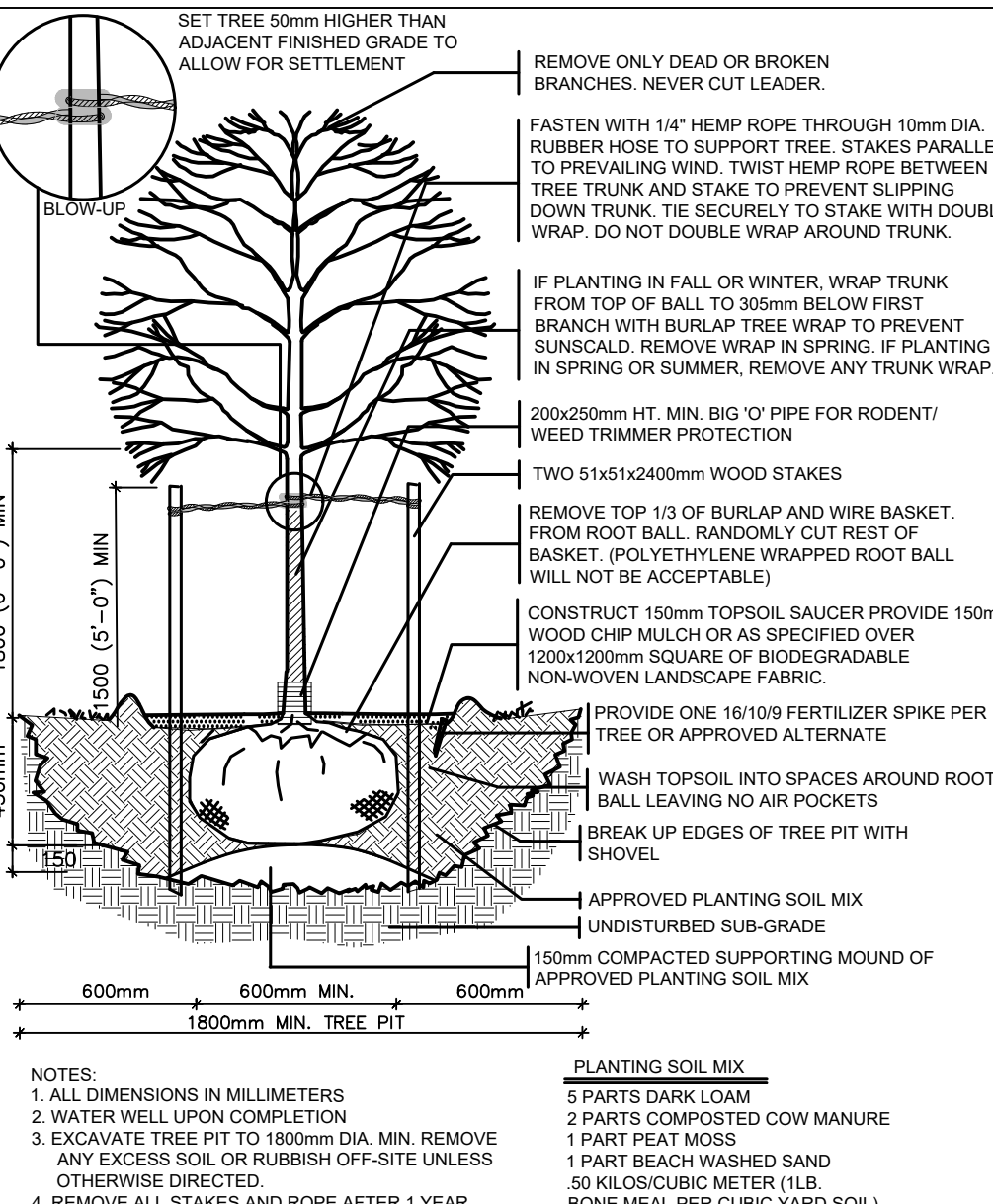
8 MAGLIN BIKE RACK - MBR400-7-S

N.T.S. 129313.30-09



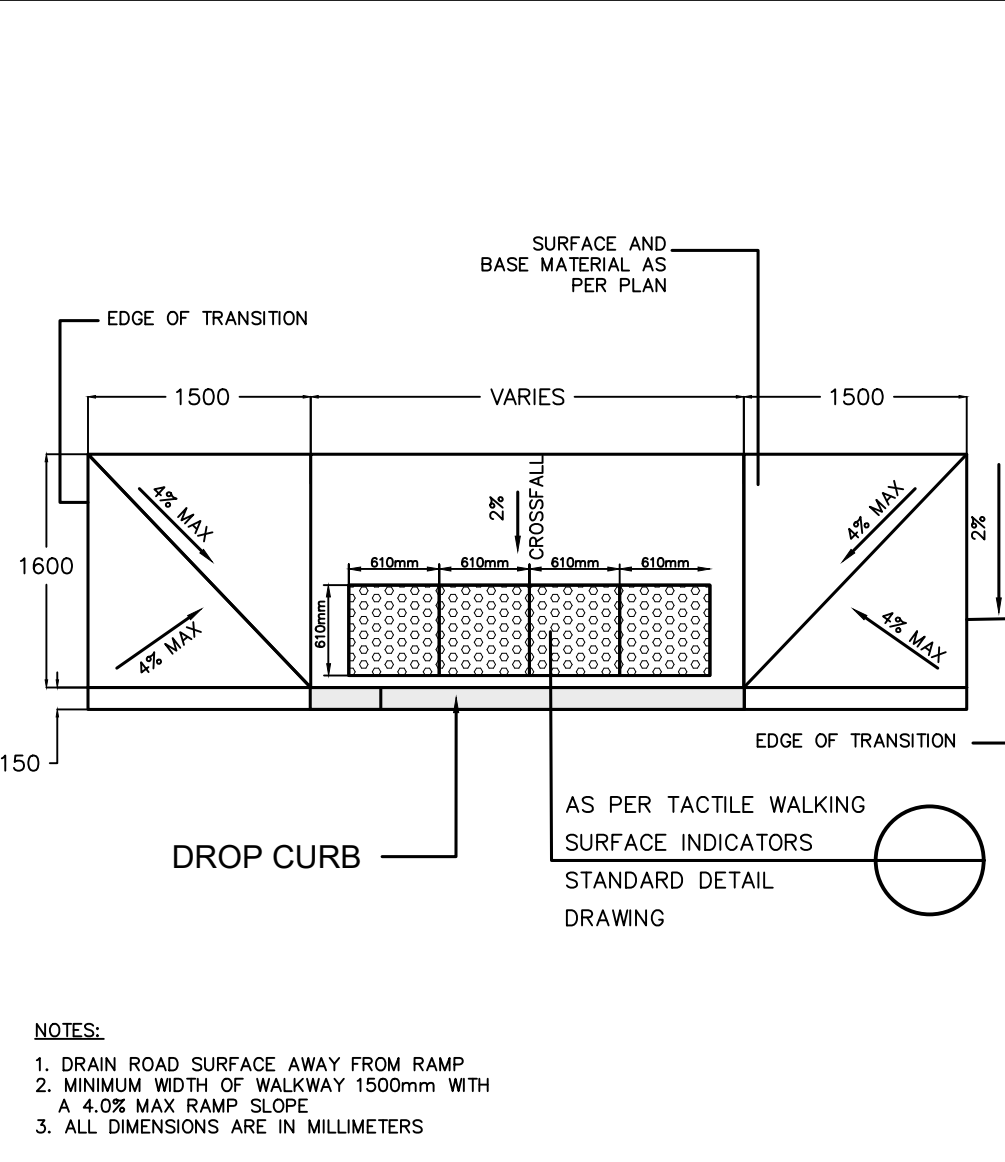
9 ACCESSIBLE RAMP WITH TACTILE INDICATORS

N.T.S. 320110-14



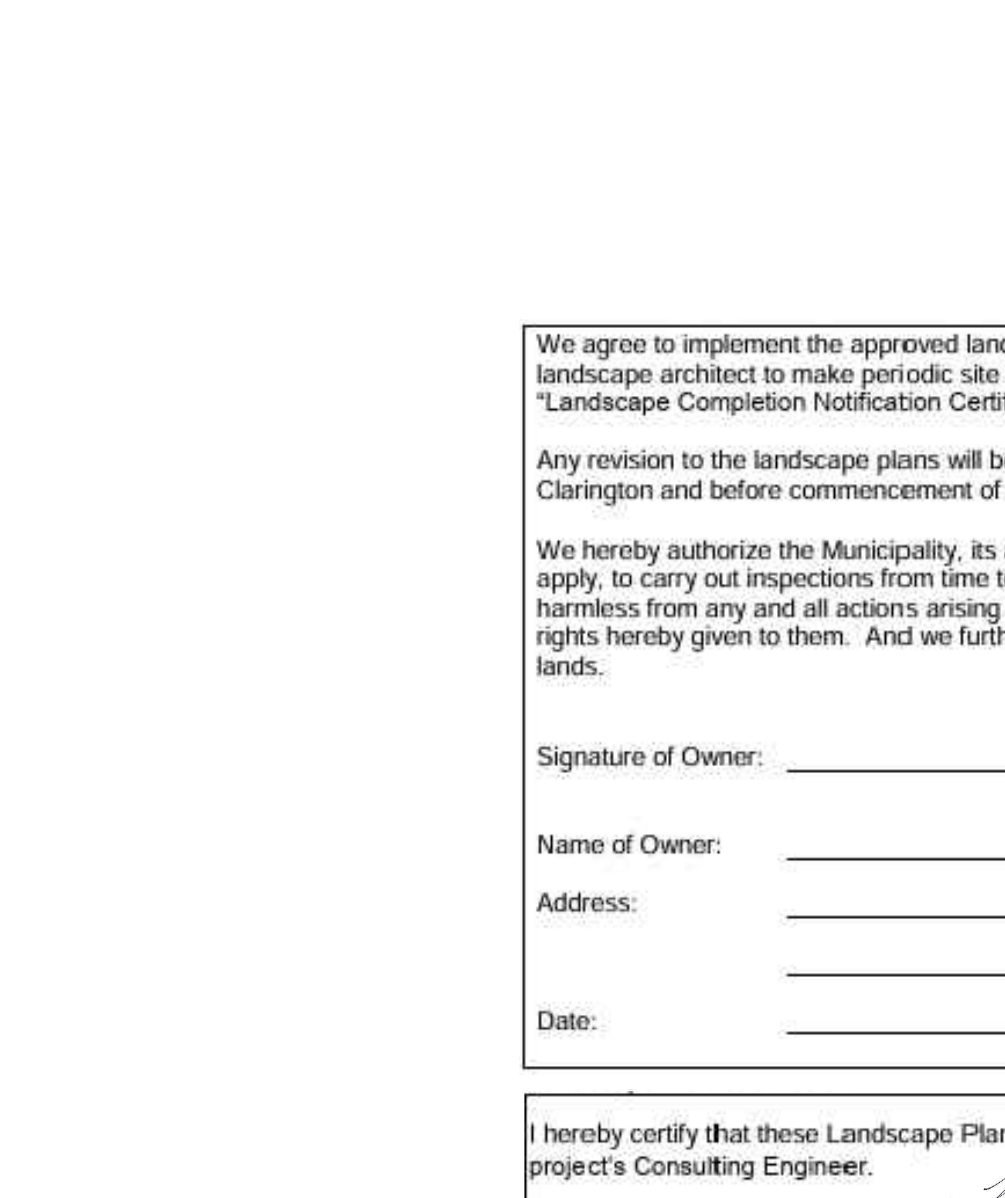
4 DECIDUOUS TREE PLANTING

N.T.S. WOOD STAKE AND HEMP ROPE 329343.01-09



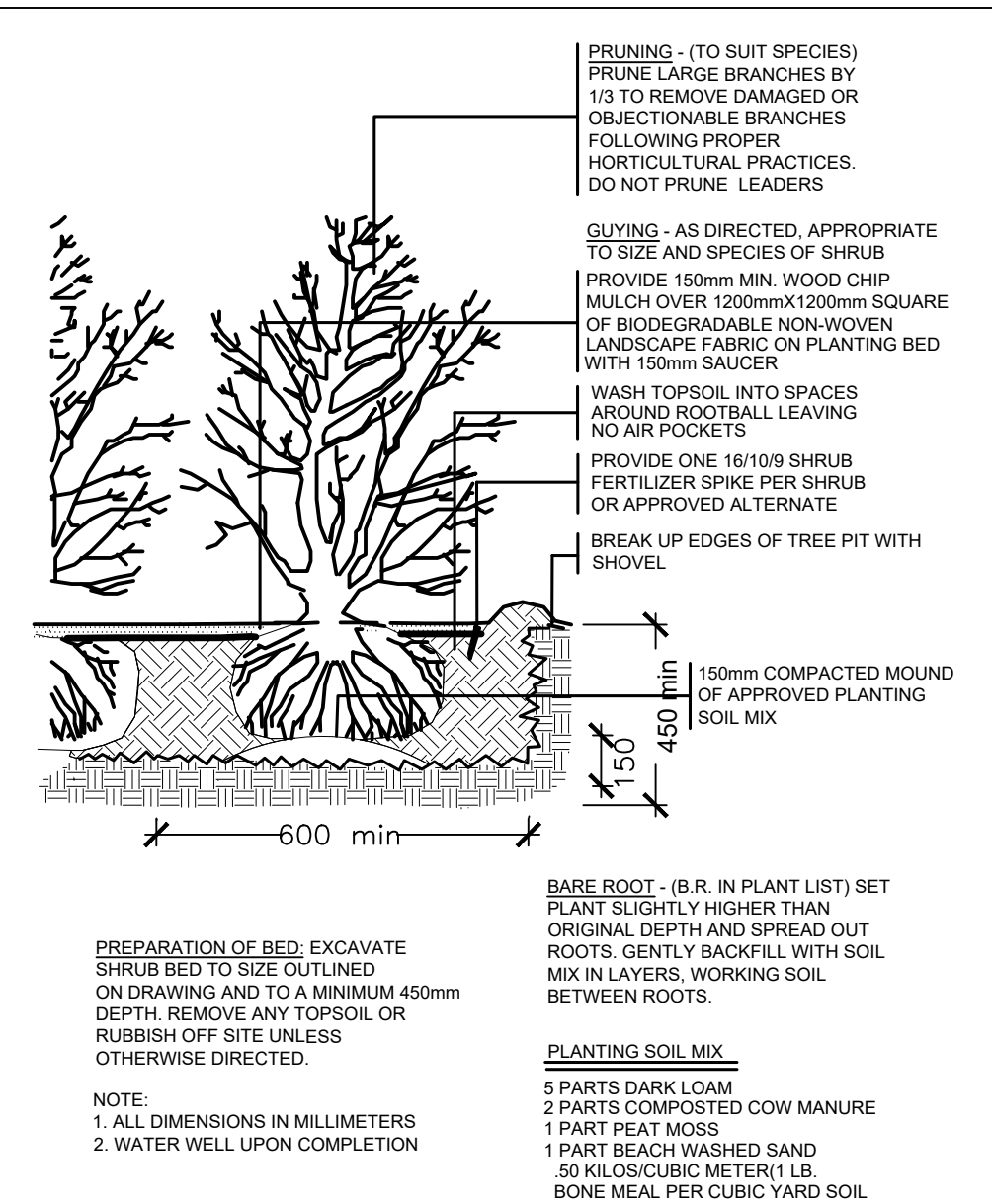
9 ACCESSIBLE RAMP WITH TACTILE INDICATORS

N.T.S. 320110-14



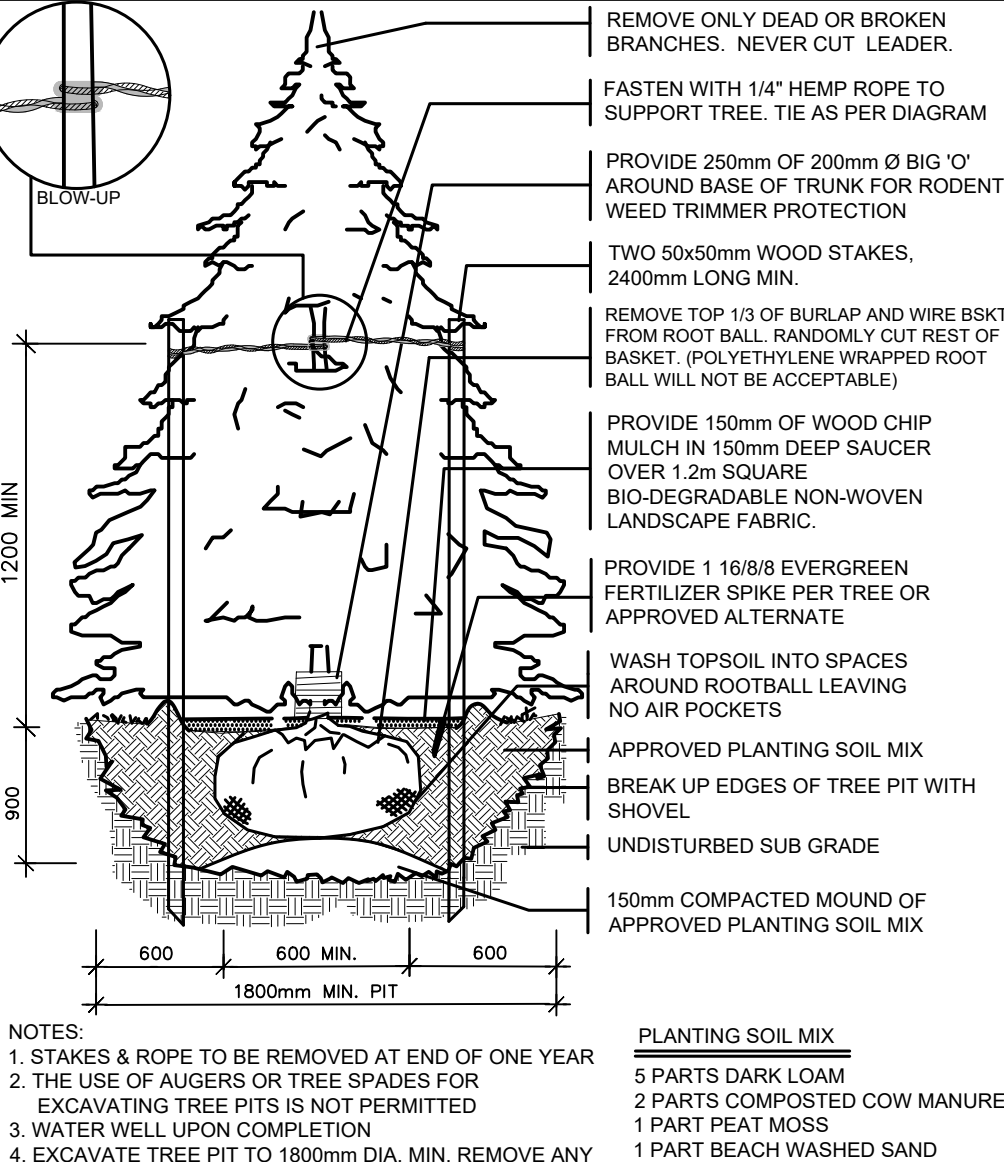
10 CONIFEROUS TREE PLANTING

N.T.S. WOOD STAKE AND HEMP ROPE 329344.01-01



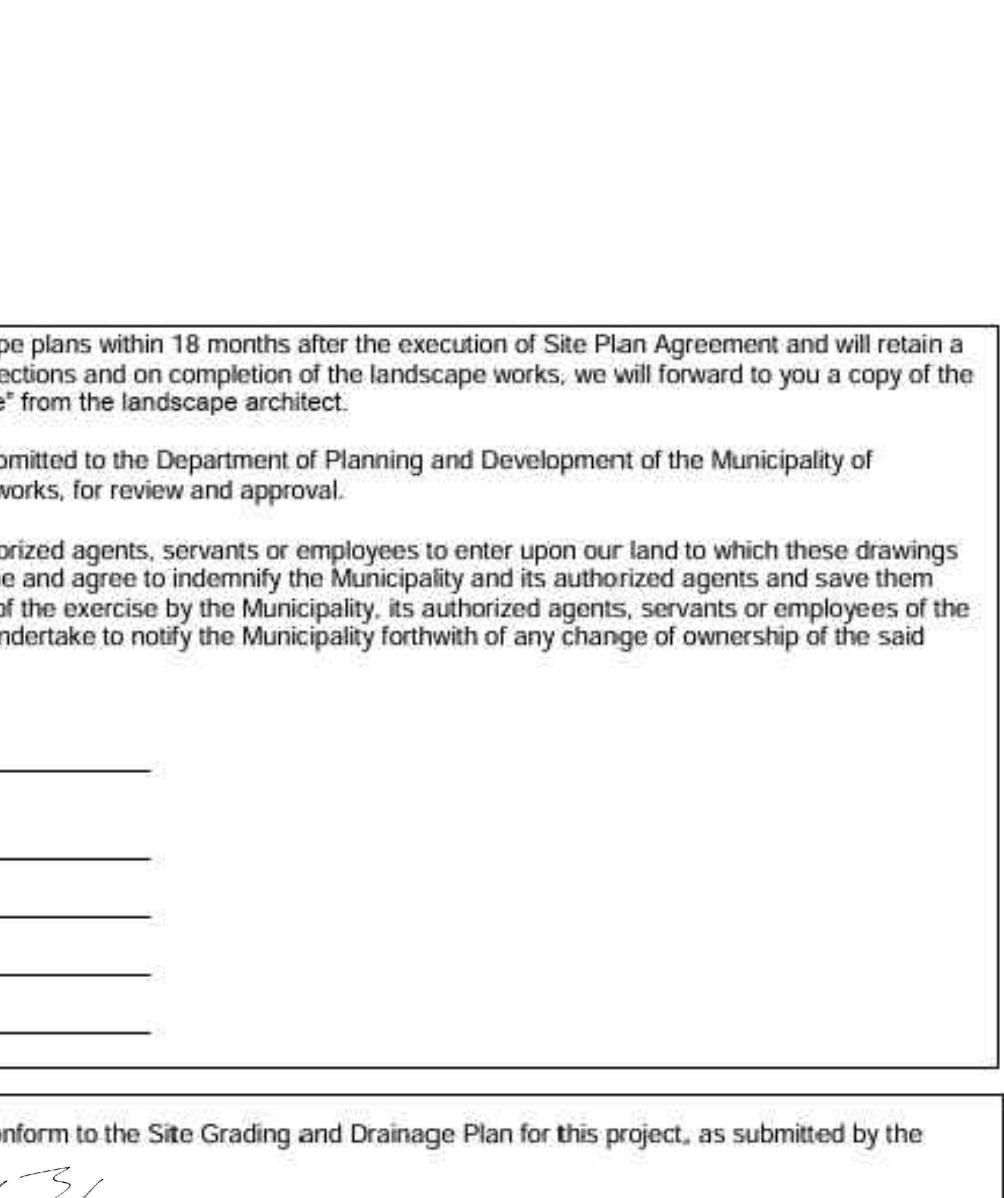
5 STANDARD SHRUB PLANTING

N.T.S. 329333.01-01



10 CONIFEROUS TREE PLANTING

N.T.S. WOOD STAKE AND HEMP ROPE 329344.01-01

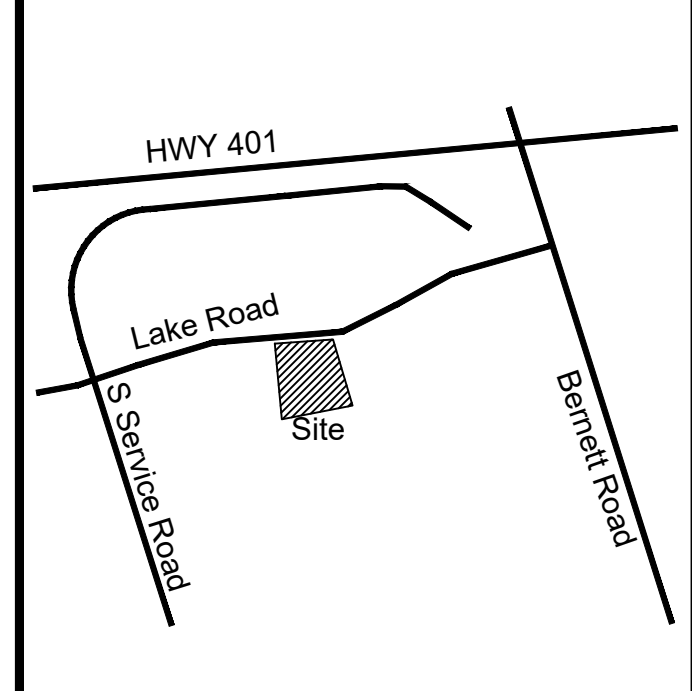


10 CONIFEROUS TREE PLANTING

N.T.S. WOOD STAKE AND HEMP ROPE 329344.01-01



LOCATION MAP



GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

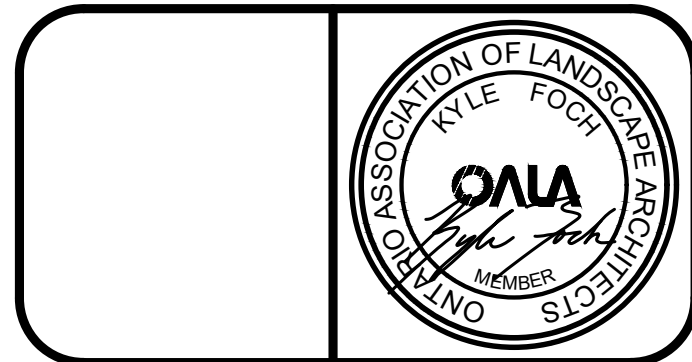
CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
2	2025-02-18	Update Landscape Plan	CT
1	2024-04-23	Prepare Landscape Plan	CT

CONCEPTUAL PRELIMINARY SITE PLAN PERMIT

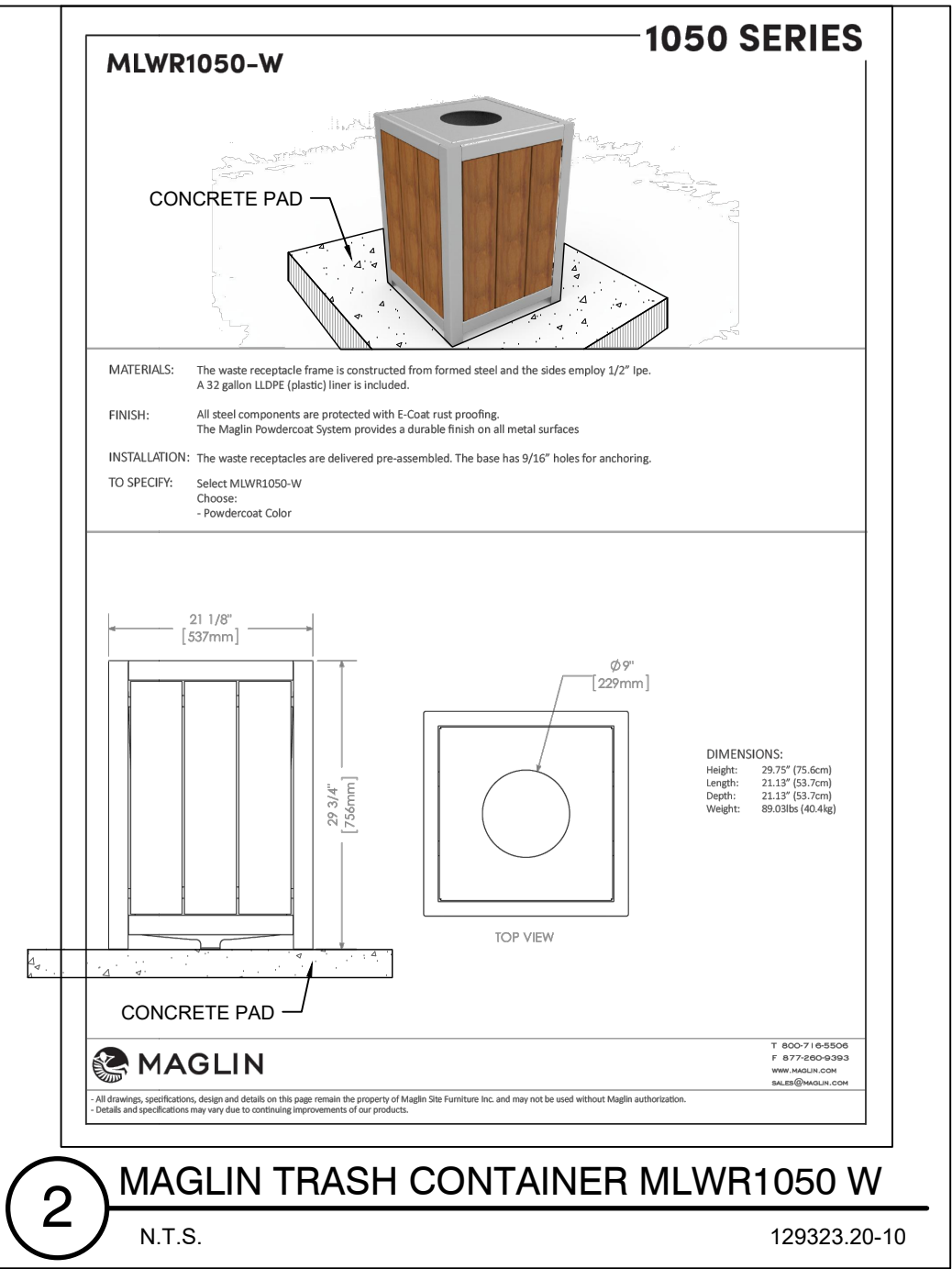
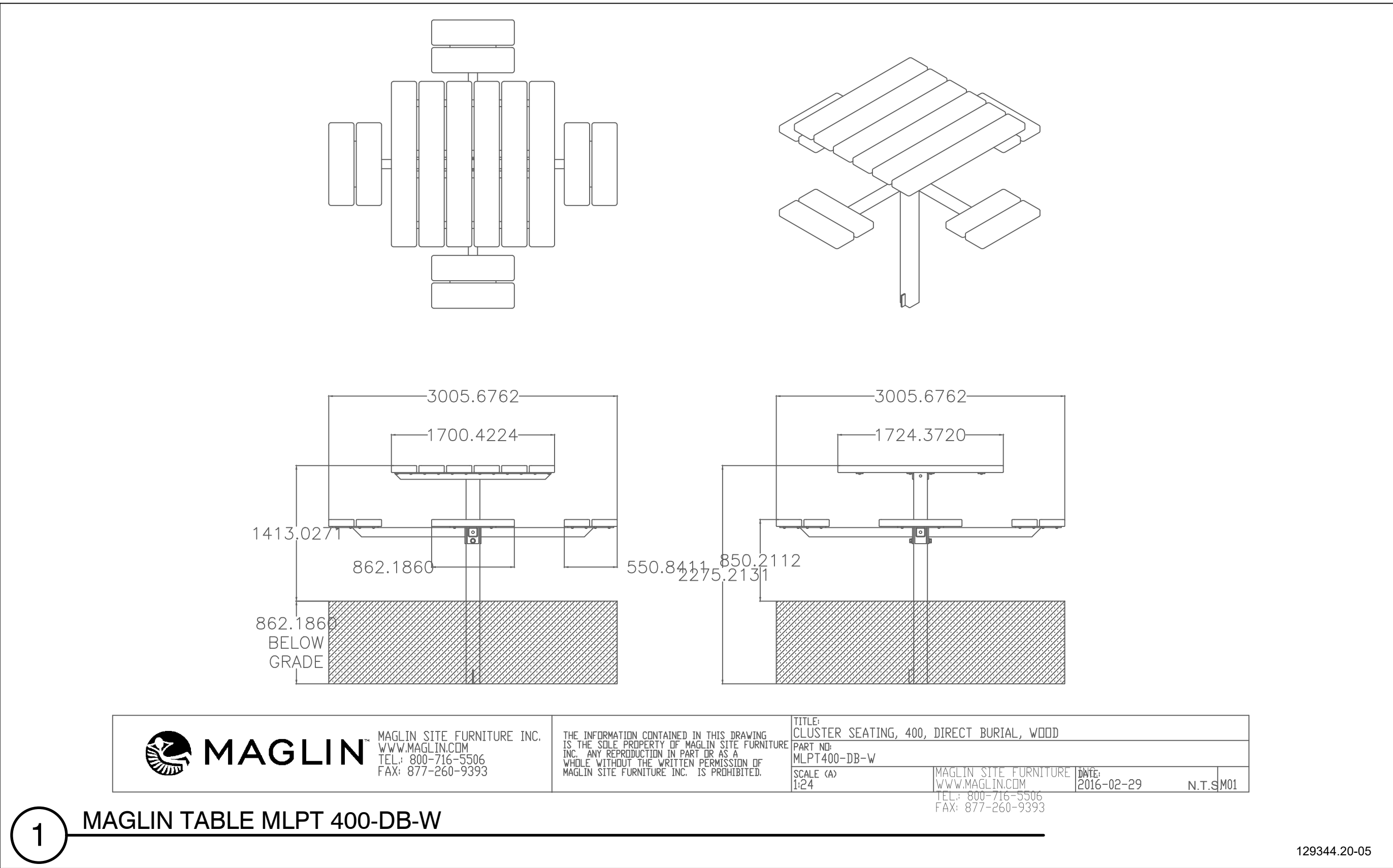
TENDER CONTRACT CONSTRUCTION AS-BUILT



THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SCALED, SIGNED AND DATED. AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

SPA FILE #
PROJECT: 725 Lake Road
Bowmanville, ON

DRAWING: DETAILS	
DRAWN BY: CT	SCALE: AS SHOWN
CHECKED BY: TM	DATE: 2024-04-23
JOB NO.: 2024-004	DRAWING 2 of 3
File #2024-004	



We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the "Landscape Completion Notification Certificate" from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner: _____

Name of Owner: _____

Address: _____

Date: _____

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect: Kyle Foch

Name of Landscape Architect: KYLE FOCH

Date: 2025-07-23

LOCATION MAP

GENERAL NOTES

THE LOCATION OF PROPERTY LINES, ELEVATIONS AND FACILITIES ON THIS PLAN WERE DRAWN ON THE BASIS OF A DIGITAL SITE PLAN OR SURVEY DATA PROVIDED BY OTHER CONSULTANTS.

IT IS THE RESPONSIBILITY OF THE CLIENT AND HIS CONTRACTORS TO CONFIRM THE ACCURACY OF THE SETBACKS, LOCATIONS AND GRADES ETC. ANY VARIATIONS BETWEEN EXISTING CONDITIONS AND THIS PLAN SHOULD BE ADJUSTED ON SITE AND REPORTED TO THE CONSULTING LANDSCAPE ARCHITECT TO DETERMINE THE IMPACT OF THE VARIATIONS ON THE SUITABILITY OF THE PROPOSED DEVELOPMENT.

CONSTRUCTION MUST CONFORM TO ALL CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.

REVISIONS

NO.	DATE	NOTES	BY
2	2025-02-18	Update Landscape Plan	CT
1	2024-04-23	Prepare Landscape Plan	CT

THESE LANDSCAPE DRAWINGS SHALL ONLY BE USED FOR THE PURPOSES INDICATED BELOW AS NOTED AND WHEN SIGNED BY THE CONSULTING LANDSCAPE ARCHITECT.

<input type="checkbox"/> CONCEPTUAL	<input type="checkbox"/> TENDER
<input checked="" type="checkbox"/> PRELIMINARY	<input type="checkbox"/> CONTRACT
<input type="checkbox"/> SITE PLAN	<input type="checkbox"/> CONSTRUCTION
<input type="checkbox"/> PERMIT	<input type="checkbox"/> AS-BUILT

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SEALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

SPA FILE #

PROJECT: 725 Lake Road
Bowmanville, ON

DRAWING: DETAILS

DRAWN BY: CT	SCALE: AS SHOWN	L-D2 DRAWING 3 of 3
CHECKED BY: TM	DATE: 2024-04-23	
JOB NO.: 2024-004		

File #2024-004