

#### OSHAWA

200-481 Taunton Road West Oshawa, ON L1J 0G3 905-576-8500

#### PETERBOROUGH

402-150 King Street Peterborough, ON K9J 2R9 705-201-0272

dgbiddle.com

Job No: 123081 - Building and Site Plans for 725 Lake Rd, Bowmanville, ON

Addendum No.: 2

## 1.0 Clarification

The following requests for clarification have been received.

## Question 1:

Architectural drawings note aluminum glazing as Kawneer 1650, however the Kawneer website shows only 1600. Some of our subcontractor supply carries Commdoor; is this an acceptable alternate for this scope of work; kindly advise thank you.

#### Answer 1:

*Commdoor* is an acceptable alternative manufacturer for the proposed aluminum windows and doors. However, the quality of the chosen product must match that of *Kawneer 1600*.

#### Question 2:

We have not yet received a landscape drawing as part of our civil drawing package to date; kindly forward any landscape drawings and a complete list of drawings to be included with this tender in its entirety, thank you.

#### Answer 2:

We have included the landscape plans with this addendum.

#### Question 3:

Can you please confirm what the tender closing date for this bid is? Please also confirm if there is a tender form to be used for submission and how the tender pricing should be submitted, i.e. electronically or in person.

#### Answer 3:

Tender closing date has been set for December 19<sup>th</sup>. Please use the Bid Form that was issued with Addendum 1.

## Question 4:

Architectural drawings note aluminum glazing as Kawneer 1650, however the Kawneer website shows only 1600. Some of our subcontractor supply carries Commdoor; is this an acceptable alternate for this scope of work; kindly advise thank you.

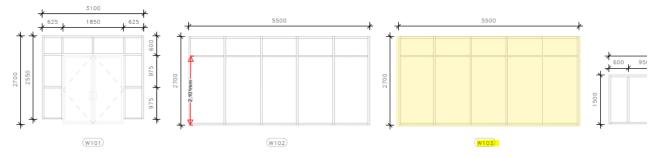
## Answer 4:

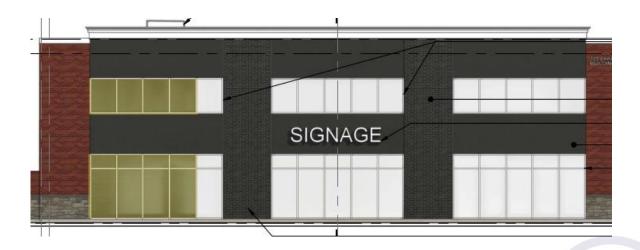
Answered above in question 1

## **Question 5:**

Can you also confirm if we are providing the "Spandrel Glass" locations as shown on the colored Elevations? Or as noted in the Window Schedule? Only one (1) 103 is affected as shown on elevations. This would be the similar case for bldg. B







Page 2 of 16

## Answer 5:

Included in this addendum is a revised window schedule and floor plan that includes these high bay window and spandrel panels.

## Question 6:

There is no HVAC schedule in the attached drawing for pricing. Pls check it out.

## Answer 6:

Schedules are located on M2.3. RTU's to be equal to York ZQG04 complete with propane conversion kit, and extended roof curb. Voltage to be 600V.

ROOF									
TAG	MANUFACTURER	MODEL	AIR FLOW	COOLING	HEATING IN/OUT	FRESH AIR	MOUNTING	CONTROLS	ACCESSORIES
RTU-1	YORK	ZQG04S2A1AA1C321A4	1200 CFM	35.6 MBH	112/90 MBH		ROOF	7 DAY PROGRAMMABLE THERMOSTAT	EXTENDED ROOF CURB, ECONOMIZER, PROPANE CONVERSION KIT

CIVIL | STRUCTURAL | MECHANICAL | ELECTRICAL | PLANNING

Page 3 of 16

## Question 7:

Do you have a water flow test report for this location? Light hazard sprinkler coverage is inadequate for 23 ft high buildings. Ordinary hazard would be the minimum for this height (12 ft max storage height)

Spec buildings of this height are typically designed for Class 4 commodities for maximum storage height and protection of most commodities.

Please advise

#### Answer 7:

A hydrant flow test has not been completed for the development. The Contractor shall provide a base price in accordance with the current design and, as a separate line item, provide pricing based on Ordinary Hazard classification.

## **Question 8:**

Please confirm if painting scope of work is limited to only include exterior man doors and exterior mechanical gas pipe in safety yellow.

#### Answer 8:

Painting scope of work is limited to the exterior HMD's and gas piping.

#### Question 9:

Please confirm if tapered insulation crickets at RTU units re positive water flow to proposed drains?

#### Answer 9:

CIVIL

STRUCTURAL

Tapered insulation crickets are to be included around all RTU's.

**ELECTRICAL** 

**MECHANICAL** 

Page 4 of 16

**PLANNING** 

## Question 10:

Drawing S4.1 shows details for interior & exterior bollards but only being shown on exterior architectural elevations for both buildings A & B at each side of all rear receiving overhead door D103, please confirm there are not any other locations to include interior or exterior bollards.

## Answer 10:

In addition to these bollards protecting the OHD's the site plan shows bollards protecting both the refuse building and adjacent propane tanks.

## **Question 11:**

Landscape details #11 showing 1.8M HT. chain link fence w/ 50mm mesh; please indicate where on the plans is the fence detail.

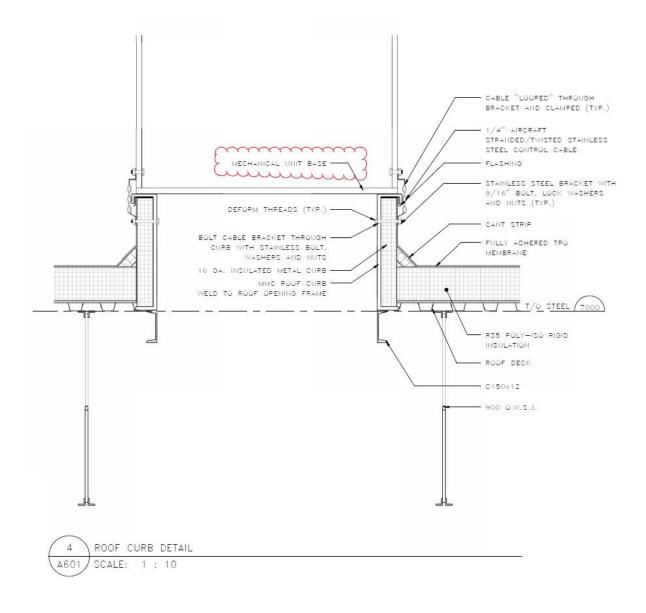
#### Answer 11:

Chain link fence is not proposed. The existing fence is proposed to remain.

Page 5 of 16

## Question 12:

Drawing M2.2 Roof Plan notes 'REFER TO TYPICAL ROOFTOP UNIT DETAIL AND MECHANICAL EQUIPMENT MOUNTING DETAIL ON M2.5' however drawing M2.5 is not included in the mechanical set. Roof curb detail 4/A601 discrepancies from drawing M2.3 Typical Roof Top Unit Detail. Please confirm contractor responsibility for the supply and install of mechanical roof top unit bases & associated metal & MMC roof curb components as per roof curb detail 4/A601 as per below:



## Answer 12:

Roof curbs are provided by mechanical trade, installed and flashed by roofer. **Question 13:** 

Page 6 of 16

Who is supplying the "Customer owned hydro pole with 3ph dip switch and tel/com pedestal"? Are there any other specs for this pole?

#### Answer 13:

This scope of work is carried under the Hydro One Offer to Connect and is not a part of this contract. The telecom pedestal is a part of the Bell/Rogers scope of work and is also not a part of this contract.

## **Question 14:**

In regards to having the entire system only at 120/208V 3PH. Almost all light industrial units like these are 600V 3PH 3W 30A or 60A, with transformers inside each unit. This way a lot of wires can be saved and provides flexibility to run 600V loads, as well as 347V site lighting and the associated smaller conductors if a neutral is brought into the main electrical room. To save costs, a small 15 or 30kVA transformer can be spec'd in and each unit can upgrade as needed.

## Answer 14:

A 600V 3-phase system is an acceptable alternative for cost savings. Please include these cost savings as a separate line item and maintain the 120/208V 3-phase service in the base price.

## Question 15:

Concerning lighting design for inside units; currently 35W 4ft strip lights are specified, and for a 2235sqft unit in Building 1 there are 15 light fixtures. If the design is changed to ~150W high bay fixtures, 4 to 8 fixtures will suffice for basic illumination.

## Answer 15:

CIVIL

**STRUCTURAL** 

This is an acceptable alternative for cost savings. Please include these cost savings as a separate line item and maintain the provided lighting layout in the base price.

**ELECTRICAL** 

**MECHANICAL** 

Page 7 of 16

**PLANNING** 

#### Question 16:

Suggestion to delete 120V Receptacles all around the units for significant cost savings.

#### Answer 16:

This is an acceptable alternative for cost savings. Please include these cost savings as a separate line item and maintain the provided power layout in the base price.

#### Question 17:

Drawing SE-1. There is a note to "Refer to offer to connect by Hydro One for all details and notes associated with this installation". Will this be made available? Is the electrical division responsible for supply and installation of the new hydro pole?

#### Answer 17:

Refer to answer 13 above.

#### Question 18:

Are aluminium conductors acceptable for feeders?

STRUCTURAL

#### Answer 18:

This is an acceptable alternative for cost savings for feeders equal to 200A or greater. Please include these cost savings as a separate line item and maintain the provided conductor materials layout in the base price.

#### Question 19:

Drawings E1 for both buildings show house panels HP-1 as 200A rated however drawing SE-2 shows house panels rated for 100A. Which size panel should we carry in our pricing?

#### Answer 19:

CIVIL

Please carry the 200A panel in pricing. Updated drawings related to this item will be provided to the successful bidder in the form of an Issued for Construction Set. Bidders are to proceed with pricing based on the response provided.

**ELECTRICAL** 

**MECHANICAL** 

Page 8 of 16

**PLANNING** 

#### Question 20:

I don't see any specifications for panels. Are there requirements for number of circuits, Kaic rating, copper or aluminium bus, etc?

## Answer 20:

The contractor is assumed to be of master electrician experience and shall provide any applicable single line diagrams, panel schedules, and circuit plan designs required to provide a complete and functioning electrical system. This price shall be included in the contractor's base price. No claim for extra payment will be allowed for failure to include this cost into their base bid. Bidders shall accept full responsibility for any error or neglect in pricing the above items in their bid.

#### Question 21:

For the x2 Pilon Signs, do you have any additional details or concepts? Will each unit have a space on the sign?

#### Answer 21:

The architectural and structural design of the pilon sighs is not yet complete at this time. This can be omitted from pricing at this time. Only include what is shown on the site electrical plan.

#### Question 22:

For the Landscaping price, are sidewalks considered landscaping? Or Civil?

#### Answer 22:

Sidewalks and curb should be considered civil scope. Note the sidewalk in the south-west corner of Building A will be revised to match the landscape drawings in the IFC set.

#### Question 23:

For the Landscaping furnishings, the total says "12 Furnishings," but the list only seems to show 10. Please clarify.

#### Answer 23:

Please disregard the 12 furnishings note and include pricing for the 10 furnishings noted.

## Question 24:

Page 9 of 16

For the plantings, is there a cash allowance for watering? With no irrigation system specified and only 150mm of topsoil, the planting warranty may be difficult with Landscaping subs.

#### Answer 24:

Please include all necessary maintenance and costs associated with the plantings (including watering) in your pricing. If any warranty qualifications are necessary due to the planting conditions, kindly note them in your submission.

## Question 25:

For the exterior envelope, is it understood that the EIFS system is field-applied and not prefabricated panels? There is language referring to "panels" and clips in the structural drawings (i.e., 2/A502). Please clarify.

#### Answer 25:

The plans specify a panelized wall assembly. A Built-in-place system may be considered for cost savings. Please provide a separate price for this alternate assembly

## Question 26:

For 50mm rigid insulation, the R-value can only reach a maximum of R8. To achieve R12ci, should the thickness be amended to 75mm? Please clarify.

#### Answer 26:

The exterior wall assembly will be amended to 75mm continuous rigid insulation to achieve R12ci and conform to the requirements of the OBC.

#### Question 27:

Please confirm there is no private free-standing fire hydrant or private wall-mounted hydrant.

#### Answer 27:

No private hydrant proposed for the development- there is adequate proximity between the building Siamese connections and the hydrant on Lake Road.

## **Question 28:**

The Building A and B breakout suggests a desire for phasing. Please confirm the project is to be completed as one phase.

Page 10 of 16

#### Answer 28:

The project will be completed in a single phase.

## Question 29:

For the interior columns that fall within a wall, is any additional fire rating required at the column? Assuming sprinklers will void this requirement, is that correct?

## Answer 29:

No fire resistance ratings are required for the building columns

## Question 30:

Is there a circuit required for the future signage? Should it be connected to the house panel or the specific unit panel?

#### Answer 30:

At this point in time, there is no requirement to supply power to future signage.

## **Question 31:**

Is TPO glue-down gripped walkway acceptable instead of the roof paver walkway section (2/A202)?

## Answer 31:

CIVIL

**STRUCTURAL** 

TPO gripped walkway is acceptable in lieu of the proposed pavers

**ELECTRICAL** 

**MECHANICAL** 

Page 11 of 16

**PLANNING** 

#### Question 32:

What size (number of circuits) are the panels in each suite?

#### Answer 32:

The contractor is assumed to be of master electrician experience and shall provide any applicable single line diagrams, panel schedules, and circuit plan designs required to provide a complete and functioning electrical system. This price shall be included in the contractor's base price. No claim for extra payment will be allowed for failure to include this cost into their base bid. Bidders shall accept full responsibility for any error or neglect in pricing the above items in their bid.

#### Question 33:

Can we get a panel schedule that is typical for each unit?

#### Answer 33:

See answer 32.

## Question 34:

What size (number of circuits) are the house panels?

#### Answer 34:

See answer 32.

## Question 35:

Can we get a panel schedule for the house panels?

## Answer 35:

See answer 32.

CIVIL | STRUCTURAL | MECHANICAL | ELECTRICAL | PLANNING

Page 12 of 16

#### Question 36:

Are the rooftop outlets powered from the tenant panel or the house panel?

## Answer 36:

The rooftop outlets are to be powered from the tenant panel. Updated drawings related to this item will be provided to the successful bidder in the form of an Issued for Construction Set. Bidders are to proceed with pricing based on the response provided.

## Question 37:

Who supplies the pad-mount transformers?

## Answer 37:

Transformers to be provided by Hydro One as part of their Offer to Connect.

## Question 38:

Since we are only monitoring sprinklers, can we install a security panel rather than a fire panel?

#### Answer 38:

Yes, contractor to specify security panel as a cost savings as a separate line item and that they are to maintain the fire panel in their base price.

#### Question 39:

Are we to include empty conduit for each space from the main electrical room for communications and telephone/data?

#### Answer 39:

Yes. Please include an empty conduit for each tenant space from the proposed communications backboard location located in the main electrical room.

#### Question 40:

CIVIL STRUCTURAL MECHANICAL ELECTRICAL PLANNING

Page 13 of 16

Is there an offer to connect that we can review to clarify the scope of work for Hydro One and the site contractor? (i.e., primary/secondary cable, pad transformer, transformer, duct bank, etc.)

#### Answer 40:

There is not one available at this time.

## Question 41:

Is there a requirement for lighting in the mechanical spaces?

#### Answer 41:

Yes, there is a requirement for lighting in mechanical and electrical spaces. Please refer to the electrical plans for additional information.

## Question 42:

For light posts, are art forms required? Paint details? Reflective strips?

#### Answer 42:

Art forms are not required. Standard concrete finish is acceptable.

## Question 43:

On the site electrical servicing plan, there are two sidewalks extending out to the road, complete with culverts. Can you confirm this is not required since it is not on the Civil plans?

#### Answer 43:

Confirmed, the sidewalk connections and culverts have been removed.

#### Question 44:

Is there any key/lock schedule information? Is a master key required for the Fire Department?

## Answer 44:

Not available at this time.

## Question 45:

CIVIL | STRUCTURAL | MECHANICAL | ELECTRICAL | PLANNING

Page 14 of 16

For the separate demising wall price, will this include the plugs specified on that wall, or is it drywall partitions only?

#### Answer 45:

Fire-rated demising walls will not include electrical plugs. This will be considered a tenant upgrade. Price the drywalled partitions only.

#### Question 46:

Will overhead doors require powered operators, or just the plug for future use?

#### Answer 46:

Provide electrical plugs for future use.

#### Question 47:

Is there a drain requirement in the refuse room?

#### Answer 47:

Yes, provide floor drain and tie into nearest sanitary main.

## Question 48:

Is there a drain required in the water room?

## Answer 48:

Yes, hub drain to be installed and tied into nearest sanitary main.

#### Question 49:

Does the refuse room have heat? If not, will the sprinkler system need to be a dry system to avoid freezing?

#### Answer 49:

Yes, 2KW force flow heater to be provided and installed by electrical contractor.

## Question 50:

Is there any ventilation in the refuse room?

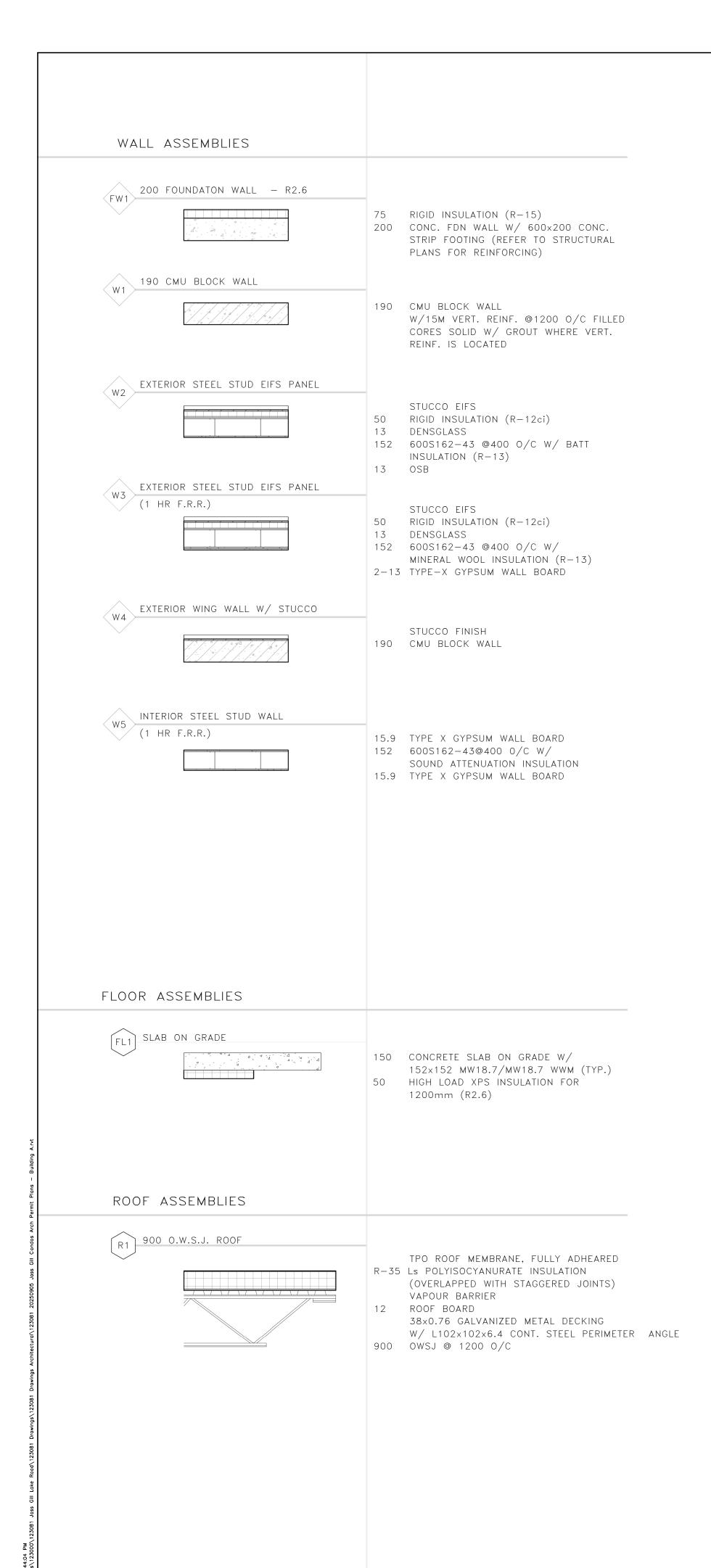
Page 15 of 16

## Answer 50:

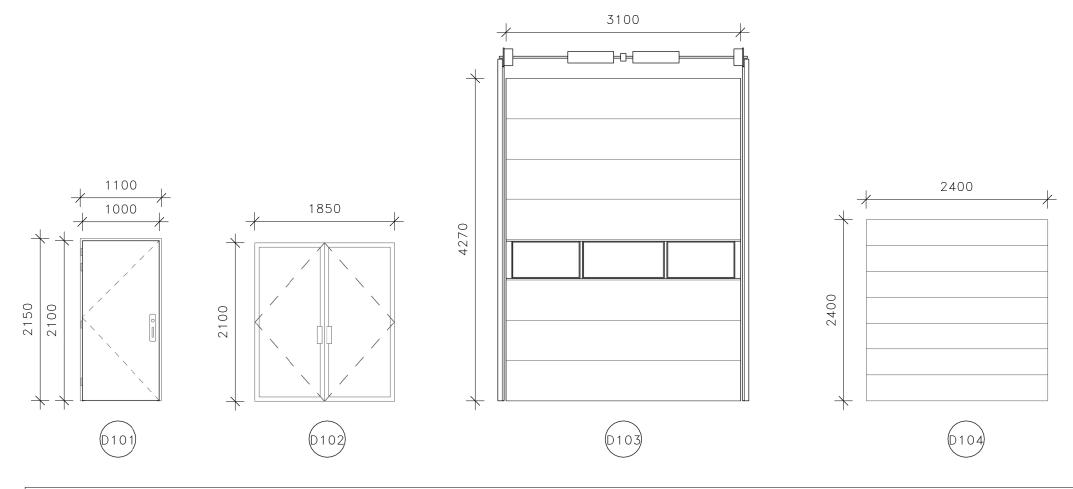
Yes, provide 125cfm ceiling exhaust fan ducted to wall cap termination. Intake air to be 12x12 Weatherproof intake louver complete with 3KW inline duct heater and airflow/temperature sensor.

**End of Addendum** 

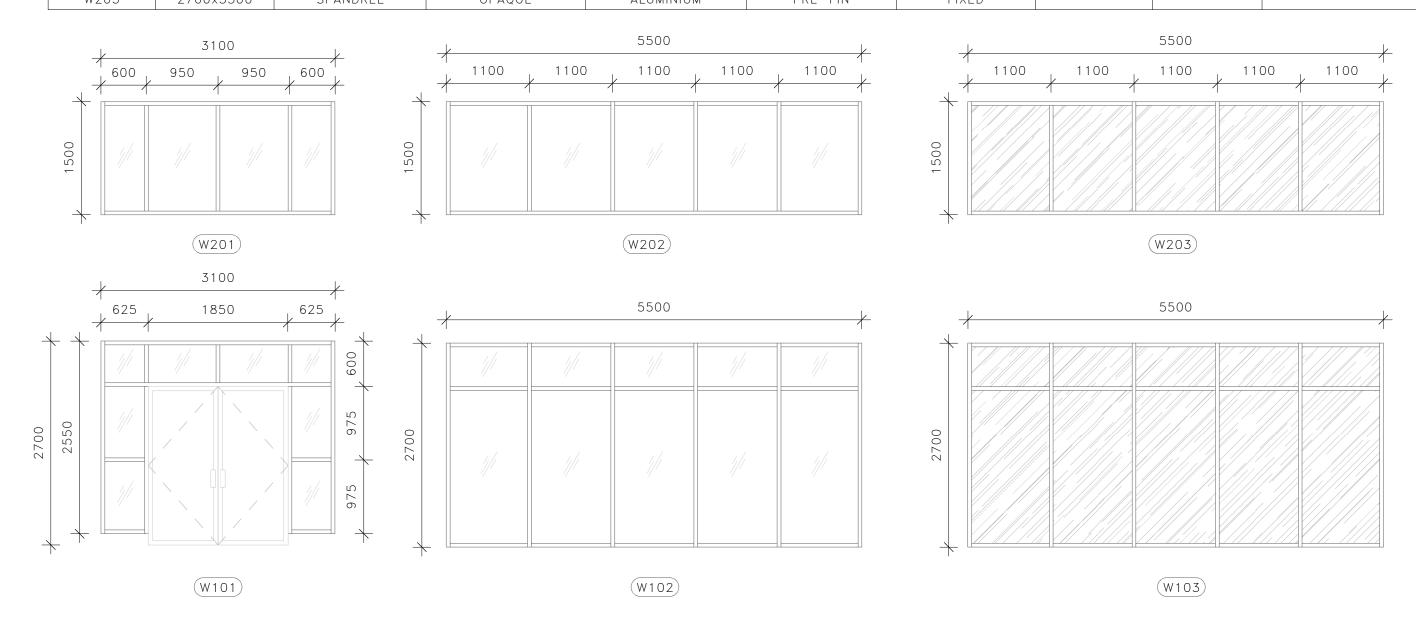
Page **16** of **16** 



	DOOR SCHEDULE									
				FRAME		,				
DOOR #	DOOR SIZE	DOOR MATERIAL	DOOR FINISH	MATERIAL	FRAME FINISH	LOCK/HARDWARE	OPERATION TYPE	FIRE RATING	COMMENTS	
D101	1000x2100	HOLLOW METAL	PAINTED	METAL	PAINT	X	SWING			
D102	1850x2100	GLASS + ALUMINIUM	PRE-FIN	ALUMINIUM	PRE-FIN.	X	POWER OPERATED SWING		CURTAIN WALL DOOR PART OF W101, SELF CLOSING	
D103	3100×4270	METAL	PRE-FIN	METAL	PRE-FIN	X	OVERHEAD			
D104	2400×2400	METAL	PRE-FIN	METAL	PRE-FIN.	X	OVERHEAD			



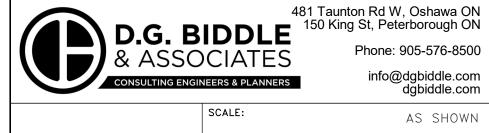
WINDOW SCHEDULE									
WINDOW #	WINDOW SIZE	WINDOW MATERIAL	WINDOW FINISH	FRAME MATERIAL	FRAME FINISH	OPERATION TYPE	DOOR	LINTEL	REMARKS
W101	2700x3100	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	D102		
W102	2700x5500	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	_		
W103	2700x5500	SPANDREL	OPAQUE	ALUMINIUM	PRE-FIN	FIXED	_		
W201	1500x3100	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	_		
W202	1500x5500	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	_		
W203	2700×5500	SPANDRFI	OPAOUE	ΔΙΙΜΙΝΙΙΙΜ	PRF-FIN	FIXED			



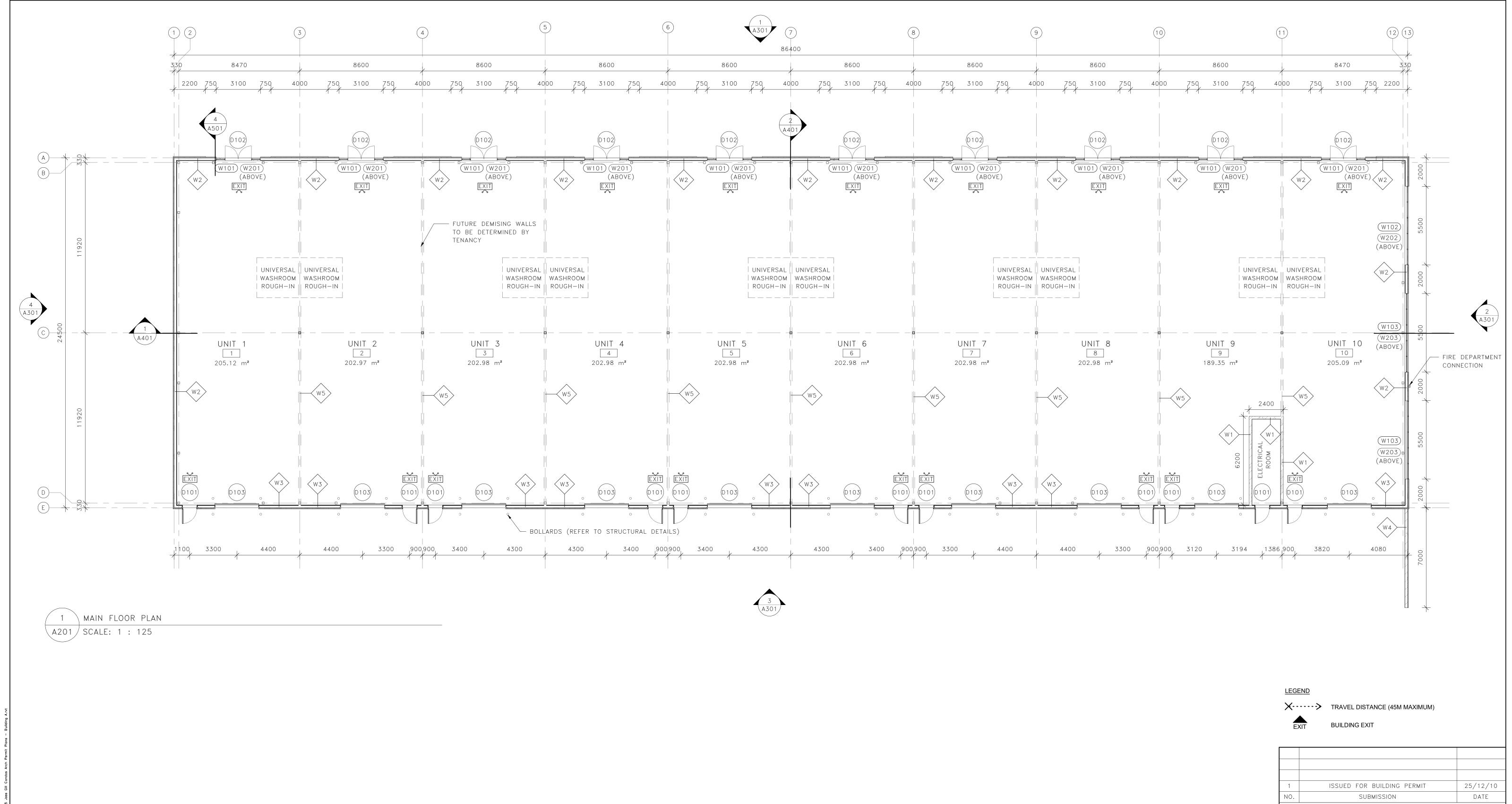
1	ISSUED FOR BUILDING PERMIT	25/12/10
NO.	SUBMISSION	DATE

JASS GILL INDUSTRIAL CONDOS — BUILDING A 725 LAKE ROAD, CLARINGTON, ON.

## SCHEDULES

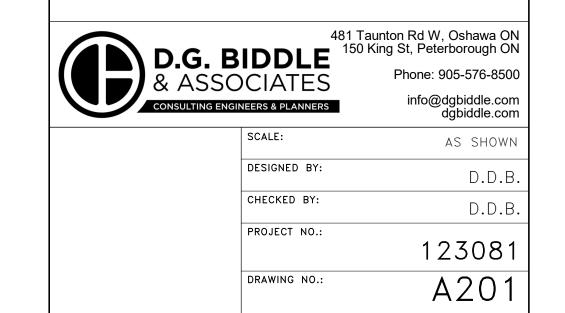


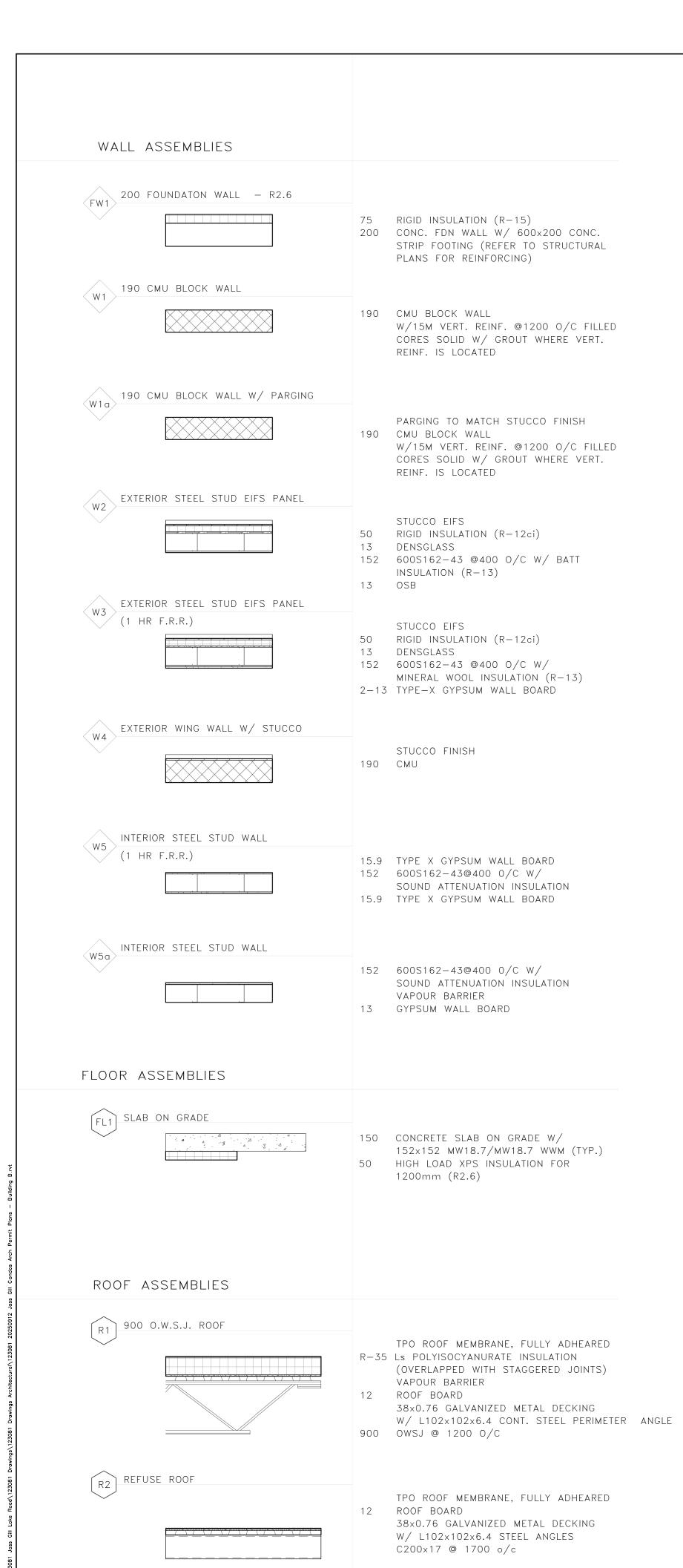
SCALE:	AS SHOWN
DESIGNED BY:	D.D.B.
CHECKED BY:	D.D.B.
PROJECT NO.:	123081
DRAWING NO.:	A102



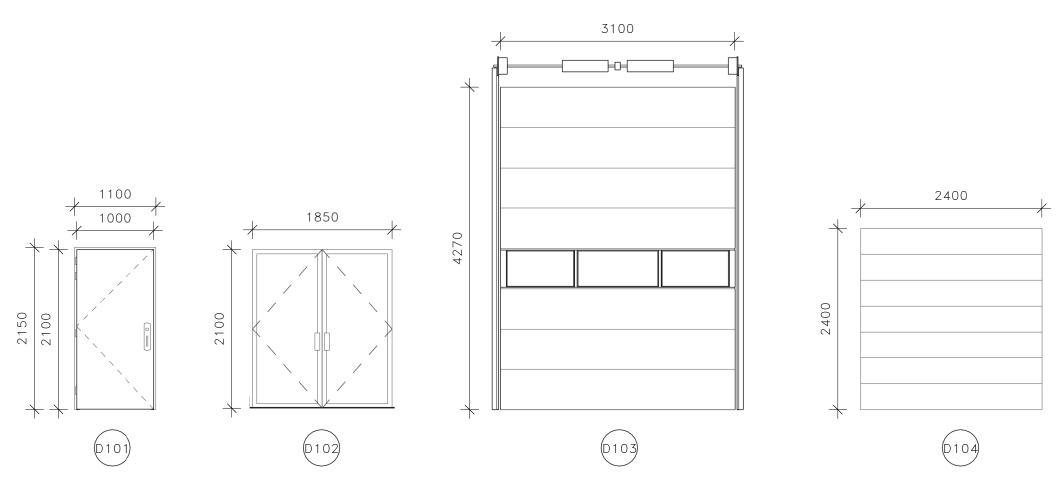
1	ISSUED FOR BUILDING PERMIT	25/12/10					
NO.	SUBMISSION	DATE					
JAS	JASS GILL INDUSTRIAL CONDOS — BUILDING A						
	725 LAKE ROAD, CLARINGTON, (	ON.					

MAIN FLOOR PLAN

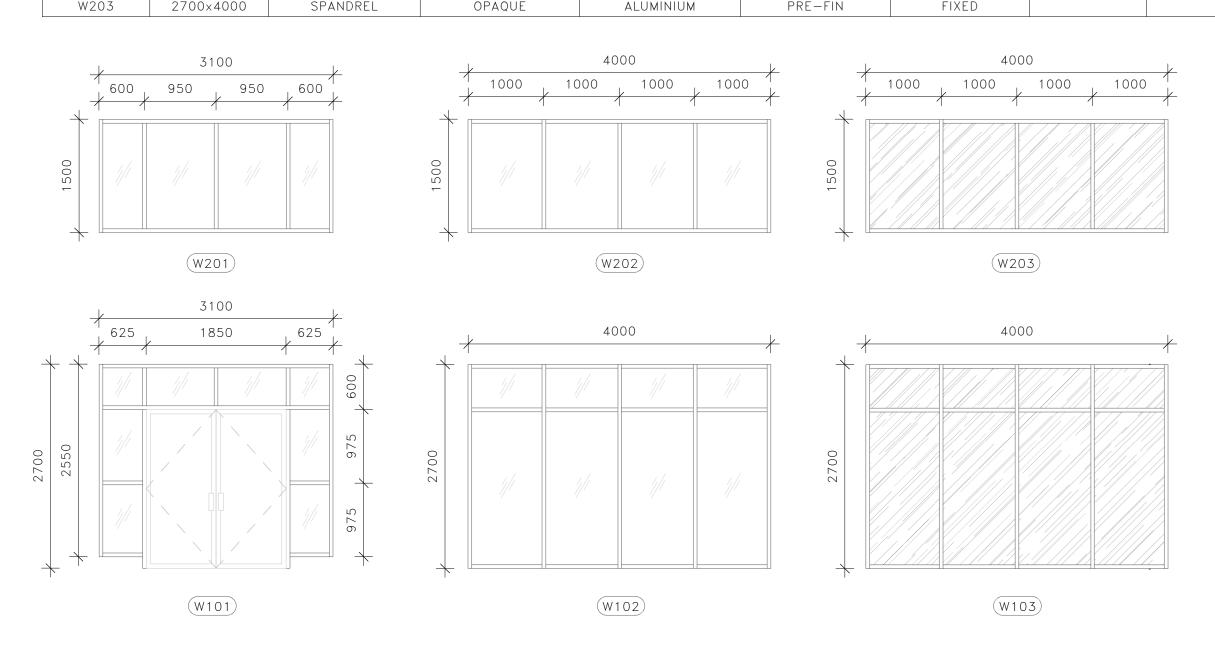




	DOOR SCHEDULE									
DOOR #	DOOR SIZE	DOOR MATERIAL	DOOR FINISH	FRAME MATERIAL	FRAME FINISH	LOCK/HARDWARE	OPERATION TYPE	FIRE RATING	COMMENTS	
D101	1000×2100	HOLLOW METAL	PAINTED	METAL	PAINT	X	SWING			
D102	1850×2100	GLASS + ALUMINUM	PRE-FIN	ALUMINIUM	PRE-FIN.	X	POWER OPERATED SWING		CURTAIN WALL DOOR PART OF W101, SELF CLOSING	
D103	3100×4270	METAL	PRE-FIN	METAL	PRE-FIN	X	OVERHEAD			
D104	2400×2400	METAL	PRE-FIN	METAL	PRE-FIN.	X	OVERHEAD			



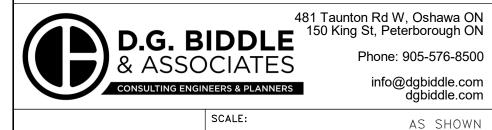
	WINDOW SCHEDULE								
WINDOW #	WINDOW SIZE	WINDOW MATERIAL	WINDOW FINISH	FRAME MATERIAL	FRAME FINISH	OPERATION TYPE	DOOR	LINTEL	REMARKS
W101	2700×3100	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	D102		
W102	2700×4000	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	_		
W103	2700×4000	SPANDREL	OPAQUE	ALUMINIUM	PRE-FIN	FIXED	_		
W201	1500×3100	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	_		
W202	1500×4000	GLASS	CLEAR	ALUMINIUM	PRE-FIN	FIXED	_		
14/0.0.7	0700 4000	CDANIDDEL	0.04.011.5	A 1 1 1 A 4 I N 1 I 1 I A 4	DDE EIN	ELVED			



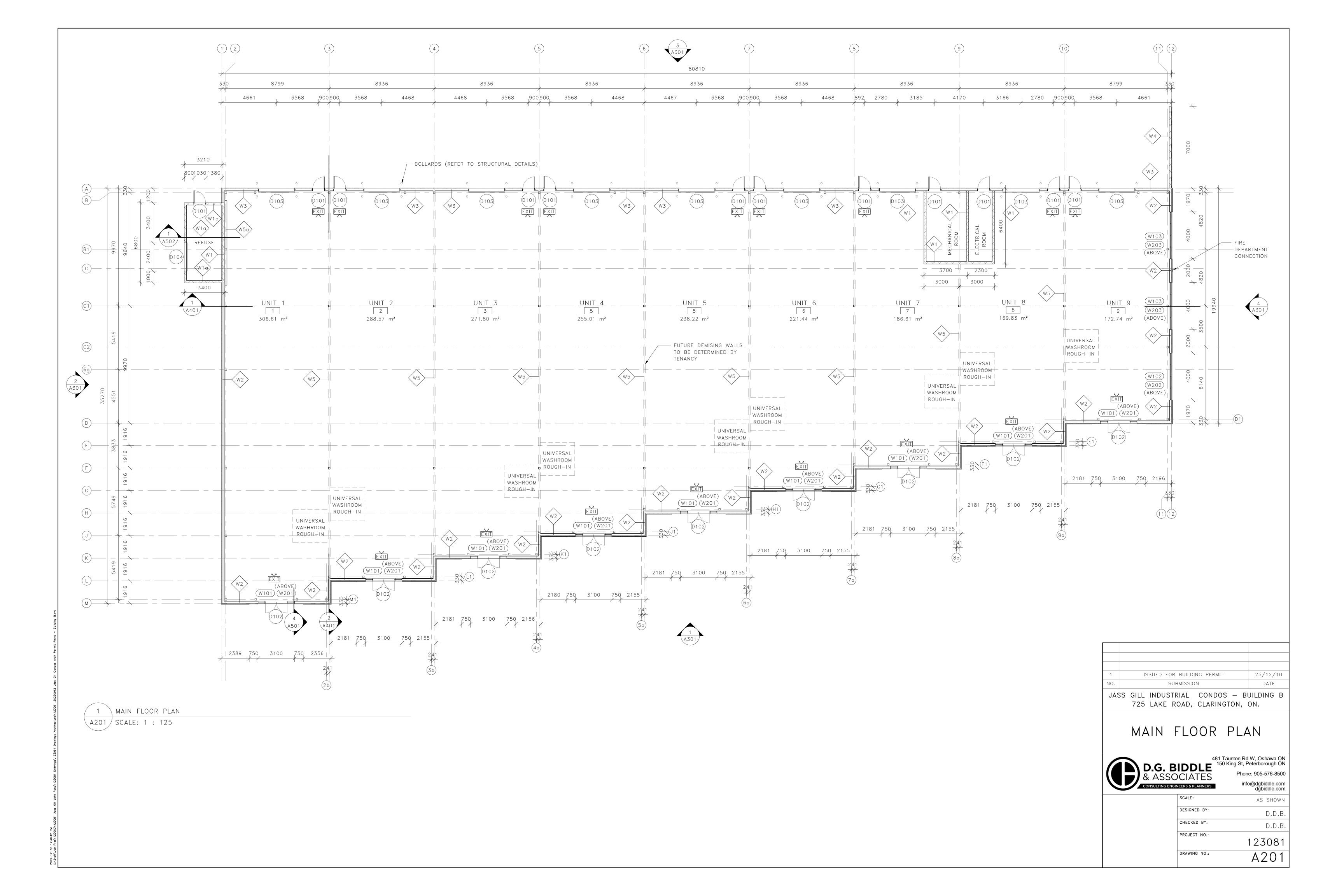
1	ISSUED FOR BUILDING PERMIT	25/12/10					
NO.	SUBMISSION	DATE					
LAC	IACC CILL INDUCTRIAL CONDOC DILLIDING D						

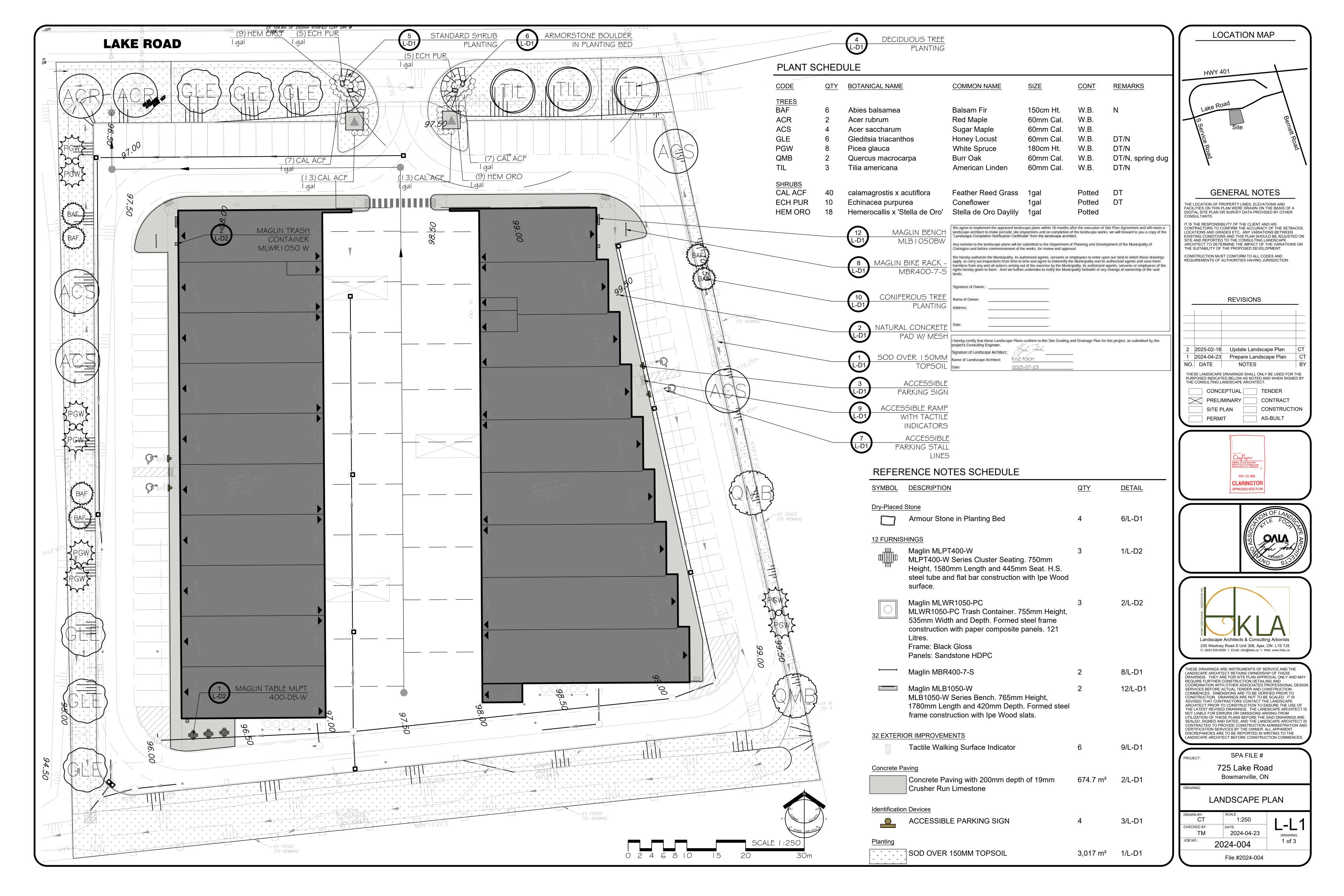
JASS GILL INDUSTRIAL CONDOS — BUILDING B
725 LAKE ROAD, CLARINGTON, ON.

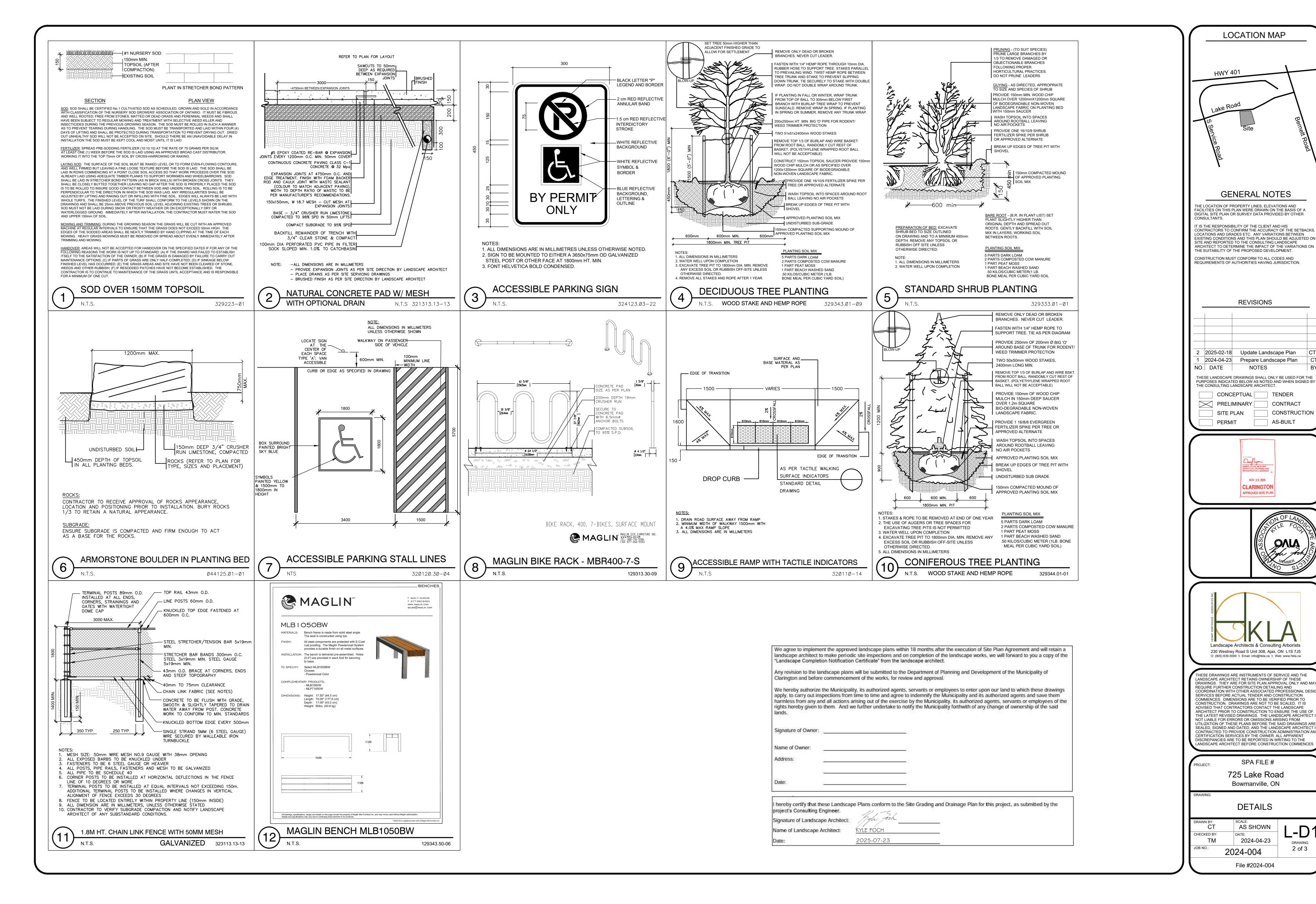
# SCHEDULES



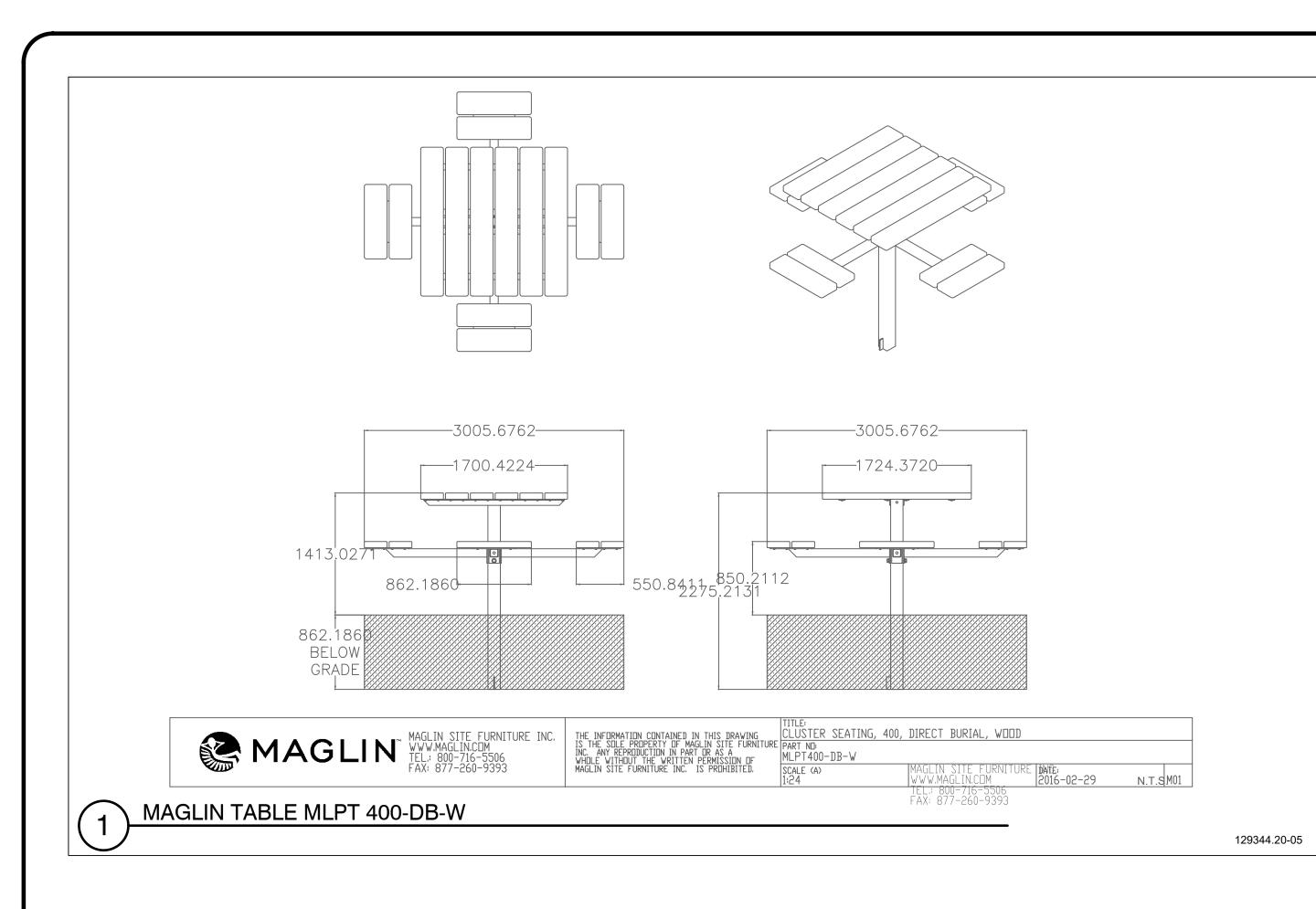
SCALE.	AS SHOWN
DESIGNED BY:	D.D.B.
CHECKED BY:	D.D.B.
PROJECT NO.:	123081
DRAWING NO.:	A102

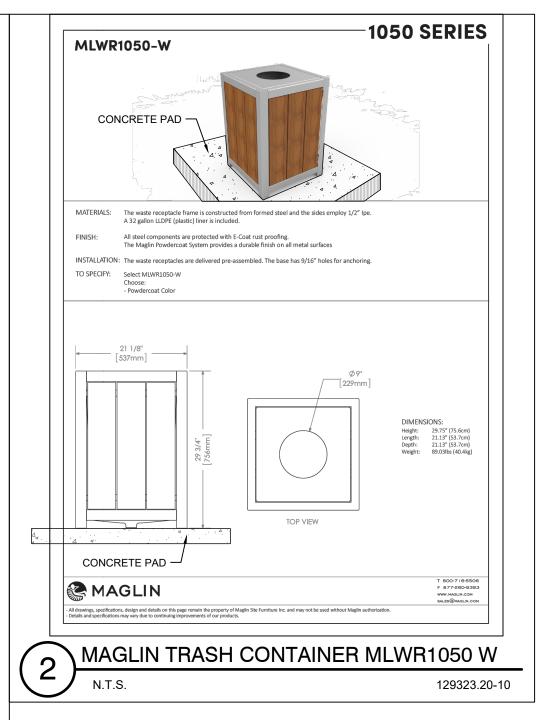




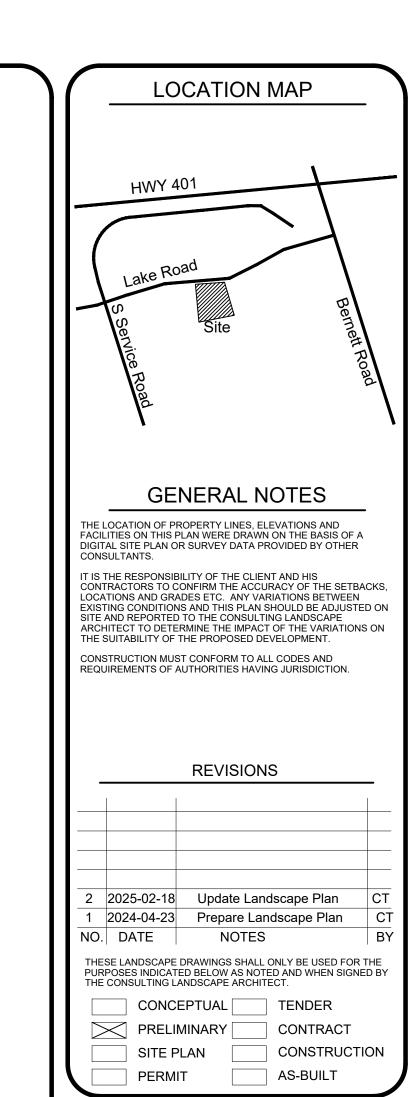


2 of 3

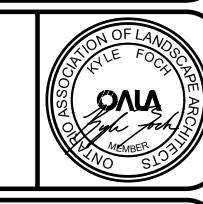




landscape architect to make peri-	oved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a odic site inspections and on completion of the landscape works, we will forward to you a copy of the continuous control of the cont
	ins will be submitted to the Department of Planning and Development of the Municipality of ement of the works, for review and approval.
apply, to carry out inspections fro harmless from any and all action:	ality, its authorized agents, servants or employees to enter upon our land to which these drawings on time to time and agree to indemnify the Municipality and its authorized agents and save them is arising out of the exercise by the Municipality, its authorized agents, servants or employees of the liwe further undertake to notify the Municipality forthwith of any change of ownership of the said
Signature of Owner:	<del></del>
Name of Owner:	<del></del>
Address:	
Date:	<del></del>
	ape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the
project's Consulting Engineer. Signature of Landscape Architect	huh Joh
Name of Landscape Architect:	KYLE FOCH
Date:	2025-07-23









THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND THE LANDSCAPE ARCHITECT RETAINS OWNERSHIP OF THESE DRAWINGS. THEY ARE FOR SITE PLAN APPROVAL ONLY AND MAY REQUIRE FURTHER CONSTRUCTION DETAILING AND COORDINATION WITH OTHER ASSOCIATED PROFESSIONAL DESIGN SERVICES BEFORE ACTUAL TENDER AND CONSTRUCTION COMMENCES. DIMENSIONS ARE TO BE VERIFIED PRIOR TO CONSTRUCTION. DRAWINGS ARE NOT TO BE SCALED. IT IS ADVISED THAT CONTRACTORS CONTACT THE LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION TO ENSURE THE USE OF THE LATEST REVISED DRAWINGS. THE LANDSCAPE ARCHITECT IS NOT LIABLE FOR ERRORS OR OMISSIONS ARISING FROM UTILIZATION OF THESE PLANS BEFORE THE SAID DRAWINGS ARE SEALED, SIGNED AND DATED, AND THE LANDSCAPE ARCHITECT IS CONTRACTED TO PROVIDE CONSTRUCTION ADMINISTRATION AND CERTIFICATION SERVICES BY THE OWNER. ALL APPARENT DISCREPANCIES ARE TO BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE CONSTRUCTION COMMENCES.

1	PROJECT:	SPA FILE#	
		725 Lake Roa Bowmanville, Of	
	DRAWING:	DETAILS	
	DRAWN BY:	SCALE:	
	СТ	AS SHOWN	L-D2
	CHECKED BY: TM	DATE: 2024-04-23	DRAWING
	JOB NO.:	2024-004	3 of 3

File #2024-004