

# CLOCA RUSS POWELL NATURE CENTRE INTERIOR WASHROOM ALTERATIONS

## CENTRAL LAKE ONTARIO CONSERVATION AUTHORITY

7274 Holt Road, Enniskillen, ON

### DESIGN TEAM

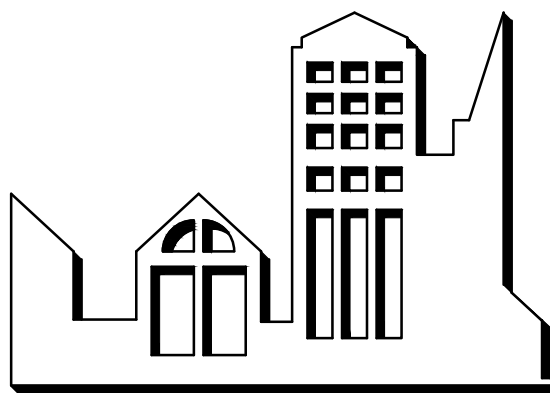
**ARCHITECT:**

J.R. FREETHY ARCHITECT  
325 LAKE ROAD, SUITE 202  
BOWMANVILLE, ON, L1C 4P8  
TEL: (905) 623-7476

**MECHANICAL:**

LEGACY ENGINEERING  
59 LIBERTY STREET SOUTH,  
BOWMANVILLE, ON, L1C 2N6  
TEL: (905) 995-2028

DRAWING LIST			
DWG:	TITLE:	LATEST REVISION:	DATE ISSUED:
ARCHITECTURAL:			
A000	COVER SHEET & DRAWING LIST	01	NOVEMBER 18, 2025
A101	OBC MATRIX, KEY PLAN, SITE PLAN	02	NOVEMBER 18, 2025
A200	SELECTIVE DEMOLITION PLANS	03	NOVEMBER 18, 2025
A201	NEW CONSTRUCTION PLANS	03	NOVEMBER 18, 2025
A301	INTERIOR ELEVATIONS & SECTIONS	03	NOVEMBER 18, 2025
A302	INTERIOR ELEVATIONS & SECTIONS	03	NOVEMBER 18, 2025
A801	SCHEDULES AND NOTES	02	NOVEMBER 18, 2025
A802	RENDERS	02	NOVEMBER 18, 2025
MECHANICAL:			
M1	PLUMBING & SHEETMETAL LAYOUTS	02	NOVEMBER 18, 2025
M2	LEGENDS, NOTES, SCHEDULES, SPECIFICATIONS AND DETAILS	02	NOVEMBER 18, 2025



J.R. FREETHY ARCHITECT

Firm Name: J.R. FREETHY ARCHITECT  
Certificate of Practice Number: 1928  
325 LAKE ROAD, SUITE 202 BOWMANVILLE, ONTARIO, L1C 4P8  
TEL: (905) 623-7476 EMAIL: reg@jrffreethy.com  
Name of Project:  
CLOCA RUSS POWELL NATURE CENTRE INTERIOR WASHROOM ALTERATIONS  
Location:  
7274 Holt Road, Enniskillen, Ontario

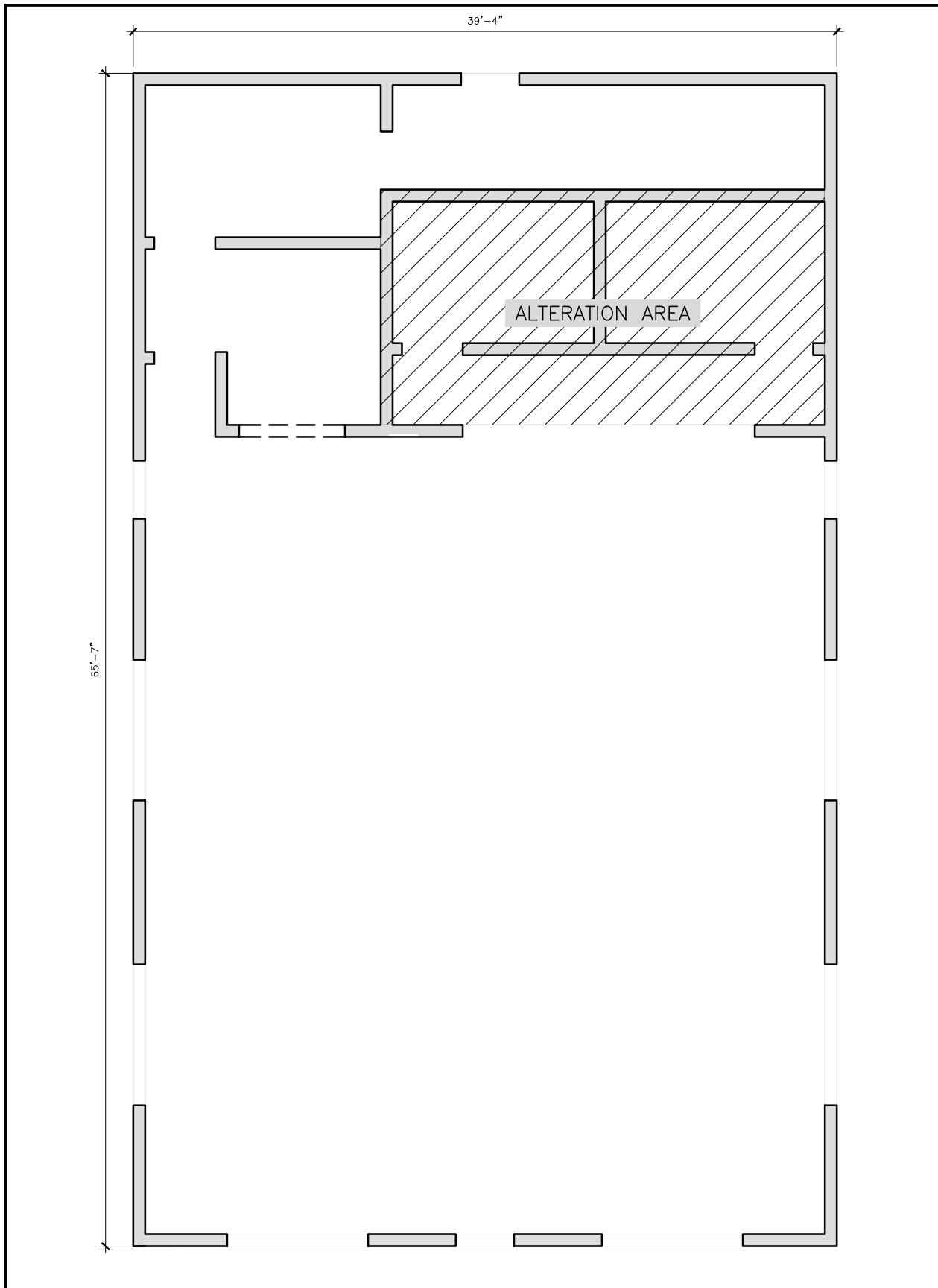


TITLE:  
COVER SHEET &  
DRAWING LIST  
PROJECT No.:  
2025-36  
DATE: OCTOBER 2025  
DWG. No.:  
A001





1 SITE PLAN  
SCALE: 1/4" = 1'-0"



2 KEY PLAN  
SCALE: 1/8" = 1'-0"

**Name of Practice:**  
J.R. Freethy Architect  
325 Lake Road, Suite 202 Bowmanville Ontario, L1C 4P8  
Tel. (905) 623 7476

**Name of Project:**  
Central Lake Ontario Conservation Authority  
Russ Powell Nature Centre Interior Washroom Alterations

**Location:**  
7274 Holt Road, Enniskillen, ON

**Date:**  
November 18, 2025

2024 Ontario Building Code Data Matrix Part 11 – Renovation				Building Code Reference <sup>1</sup>
11.00	Building Code Version:	O_Reg_163/24	Last Amendment	O_Reg_447/24
11.01	Project Type:	<input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and renovation <input type="checkbox"/> Change of use		
	Description:	Conversion of existing washrooms into Universal and All-gender washroom.		
11.02	Major Occupancy Classification:	Occupancy Group A Div. 2	Use Community Hall/ Nature Centre	3.1.2.1.(1), 2.1.4.1.(1), and 11.2.1.
11.03	Superimposed Major Occupancies:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes		
	Description:			
11.04	Building Area (m <sup>2</sup> )	Existing	New	Total
	Total Building Area	239.66m <sup>2</sup>	N/A	239.66m <sup>2</sup>
	Alteration Area	30.38 m <sup>2</sup>	0	30.38 m <sup>2</sup>
		0	0	0
		0	0	0
	Total	239.66m <sup>2</sup>	N/A	239.66m <sup>2</sup>
11.05	Building Height	1 Storeys above grade (m) Above grade		
		0 Storeys below grade		
11.06	Number of Streets/ Firefighter Access	1 street(s)		
		3.2.2.10, 3.2.5, 2.2.4.1, and 11.3.		

11.07	Building Size	<input checked="" type="checkbox"/> Small <input type="checkbox"/> Medium <input type="checkbox"/> Large <input type="checkbox"/> > Large				11.2.1.1, and 11.12.1.1.B.N.
11.08	Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: N/A Hazard Index: N/A Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster				10.1.1.2, 11.2.1.1, 11.12.1.1.A, 11.12.1.1.B to N, 4.1.2.1.(3), 2.3.1, and 5.2.2.1.(2)
11.09	Renovation Type:	<input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation				11.3.3.1, and 11.3.3.2.
11.10	Occupant Load	Floor Level/Area	Occupancy Type	Based On	Occupant Load (Persons)	
		No increase in Occupant Load	N/A	N/A	N/A	
					0	
					0	
					0	
11.11 a	Plumbing Fixture Requirements	Ratio: M:F = 50:50 Except as otherwise noted				3.7.4, 11.3.4, 11.3.5, 11.4.2.4, and 11.4.2.5.
		Floor Level/Area	Occupant Load	IBC Reference	WCs Required	
		Ground Floor	N/A		0	
			0		0	
			0		0	
			0		0	
11.11 b	Plumbing Fixture Requirements continued:	Floor Level/Area (repeated)	Barrier-free WCs Required	Barrier-free WCs Provided	Universal Washrooms Required	
			0	0	1	
			0	0	0	
			0	0	0	
			0	0	0	
11.12	Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Universal Washroom – Barrier Free Design				11.3.1.2, 11.3.2, 11.3.3.2.
	Barrier-free Entrances:	Number N/A				

11.13	Reduction in Performance Level:	Structural: By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Sewage-systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of buildings of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1, 11.4.2.2, 11.4.2.3, 11.4.2.4, 11.4.2.5, 11.4.2.6.
11.14	Compensating Construction:	<input type="checkbox"/> No <input type="checkbox"/> Yes Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input type="checkbox"/> No <input checked="" type="checkbox"/> Yes Sewage systems: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of buildings of combustible construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.3.1, 11.4.3.2, 11.4.3.3, 11.4.3.4, 11.4.3.5, 11.4.3.6, 11.4.3.7.
11.15	Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes N/A	11.5.1.
11.16	Alternative Solutions	N/A	[A] 1.2.1.1, and [C] 2.1.
11.17	Notes:	Universal washroom renovated to meet OBC 3.8.3. barrier-free standards	

<sup>1</sup> All references are to Division B of the OBC, unless preceded by [A] for Division A and [C] for Division C.

CLIENT:  
**CENTRAL LAKE ONTARIO  
CONSERVATION  
AUTHORITY**

**KEY TO DETAIL NUMBER:**

#  
A###  
DETAIL NUMBER  
SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

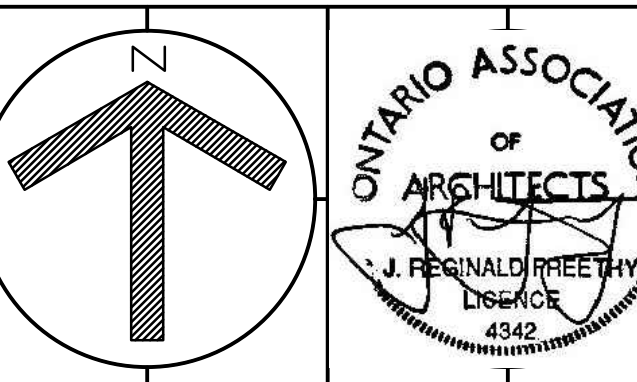
(N.I.C.) NOT IN THE CONTRACT  
PROVIDE INDICATES SUPPLY AND INSTALL.

02	PERMIT & TENDER	C.N.	11/18/2025
01	CLIENT REVIEW	C.N.	11/07/2025
No.	DESCRIPTION	BY.	DATE.

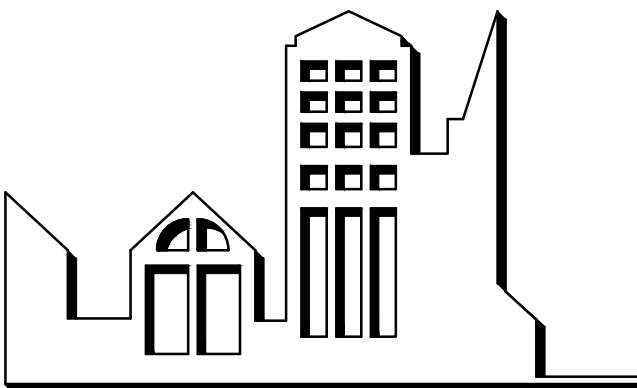
**REVISIONS**

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BOWMANVILLE ONTARIO  
L1C 4P8 TEL. (905) 623 7476

PROJECT:  
**CLOCA RUSS POWELL  
NATURE CENTRE INTERIOR  
WASHROOM ALTERATIONS**  
7274 HOLT ROAD, ENNISKILLEN, ON

SCALE: AS NOTED  
DWG. BY: C. NYARKO  
CHECKED BY: J.R.F.  
STATUS: PERMIT & TENDER  
PLOT FACTOR: 1:1

TITLE:  
**OBC MATRIX, KEY PLAN,  
SITE PLAN**

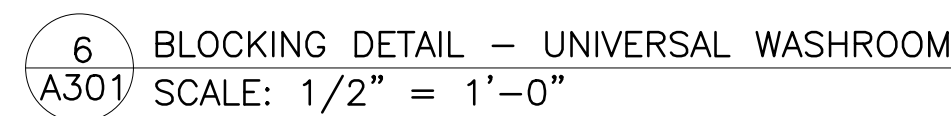
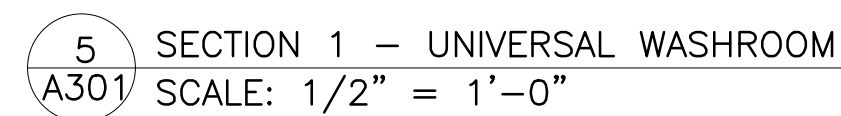
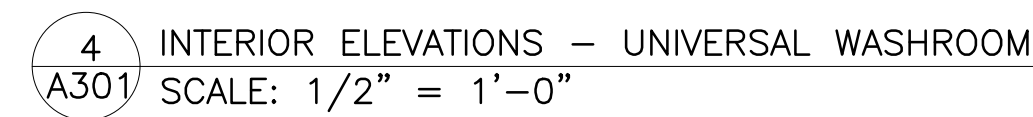
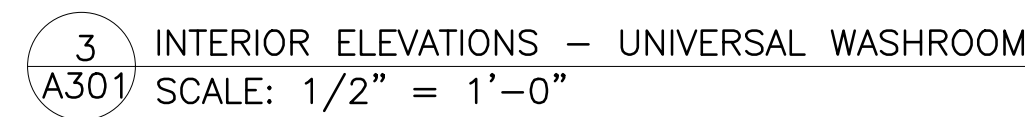
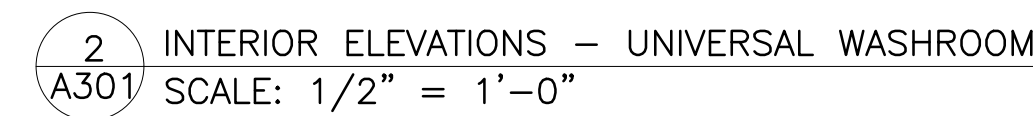
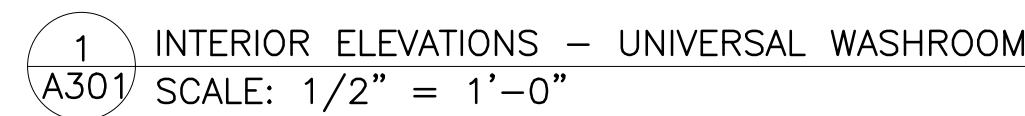
PROJECT No.:  
**2025-36**  
DATE: OCTOBER 2025

DWG. No.:  
**A101**



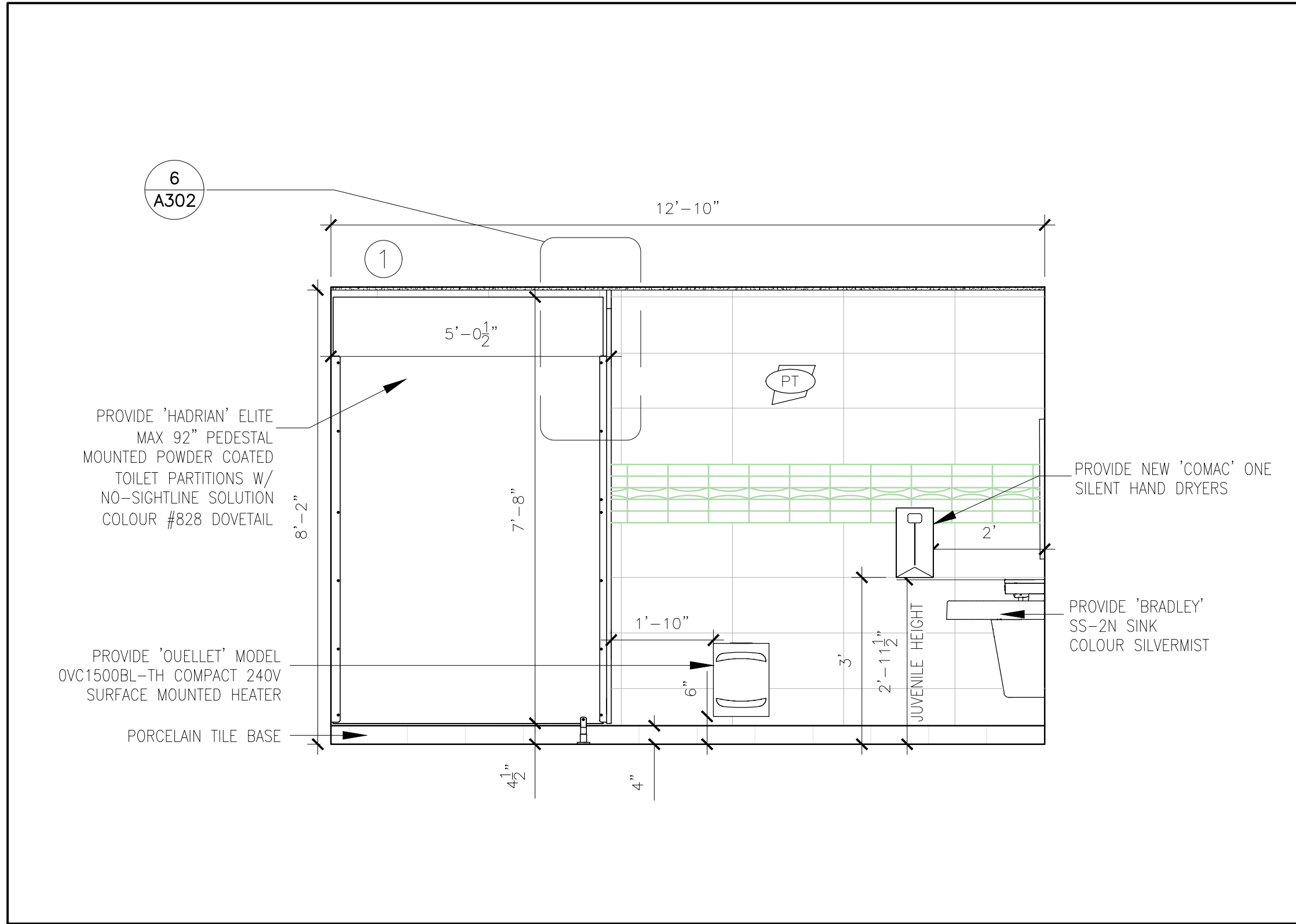




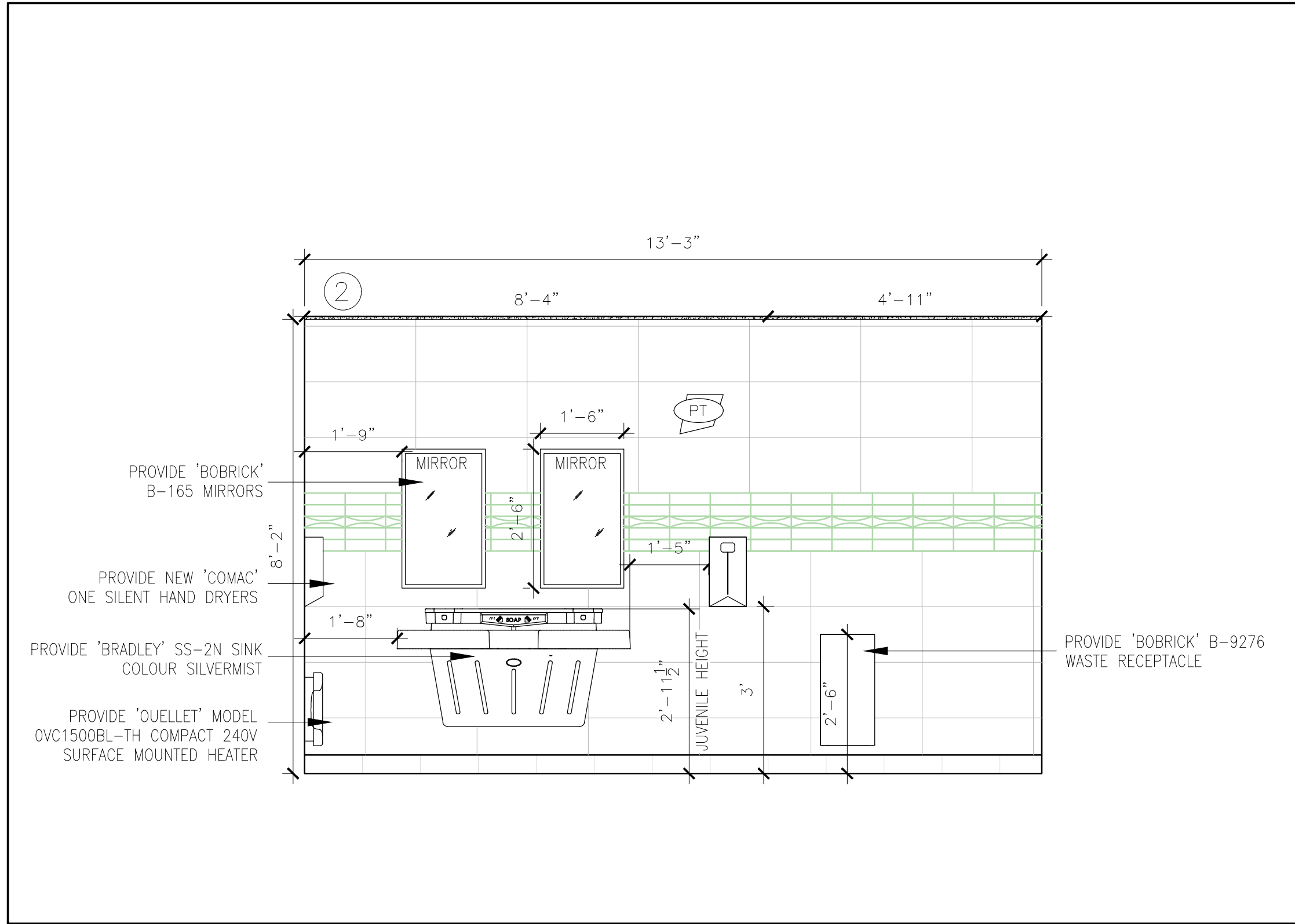


PROJECT No.: <b>2025-36</b> DATE: OCTOBER 2025	DWG. No.: <b>A301</b>
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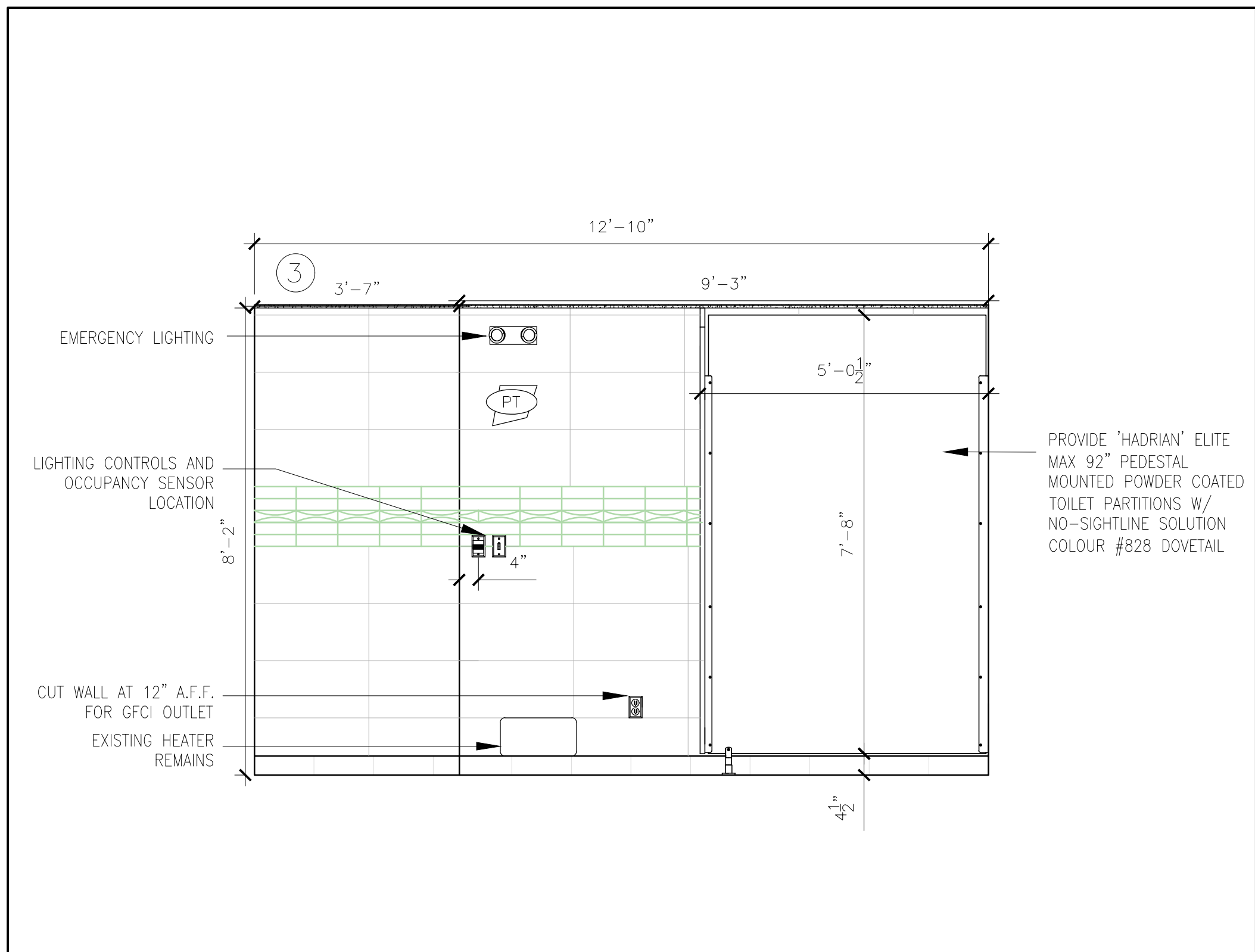




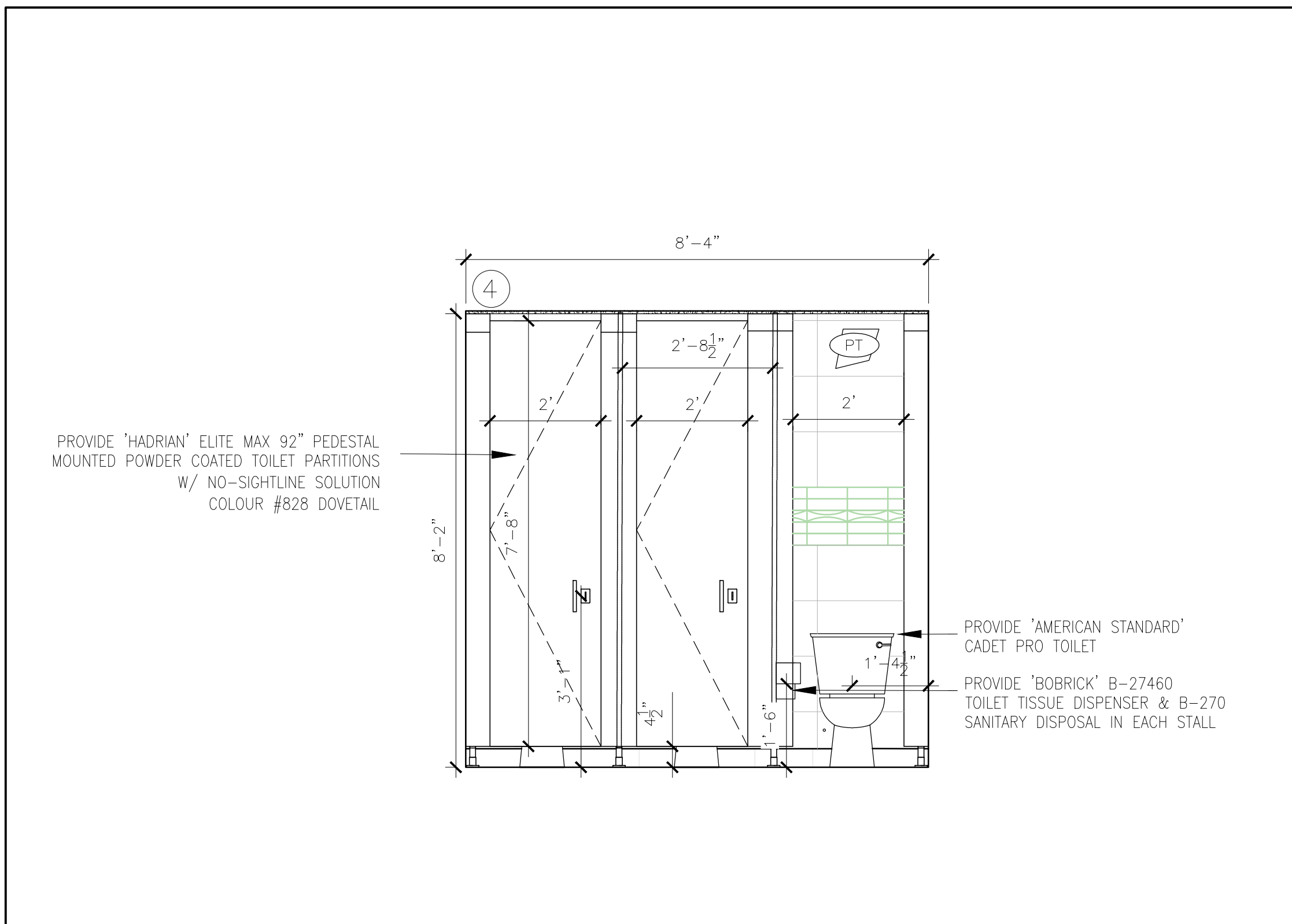
1 INTERIOR ELEVATIONS — ALL GENDER WASHROOM  
A302 SCALE: 1/2" = 1'-0"



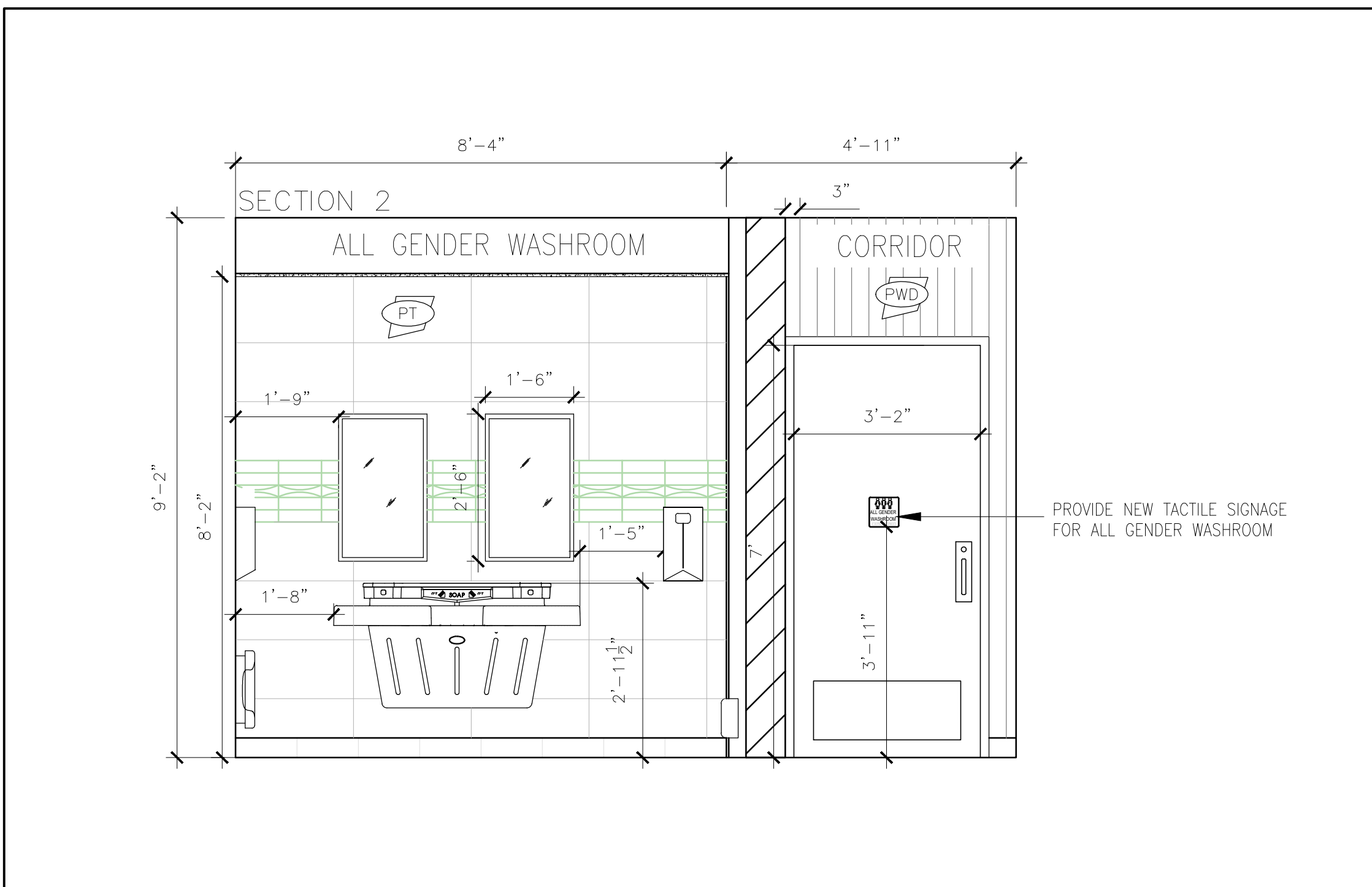
2 INTERIOR ELEVATIONS — ALL GENDER WASHROOM  
A302 SCALE: 1/2" = 1'-0"



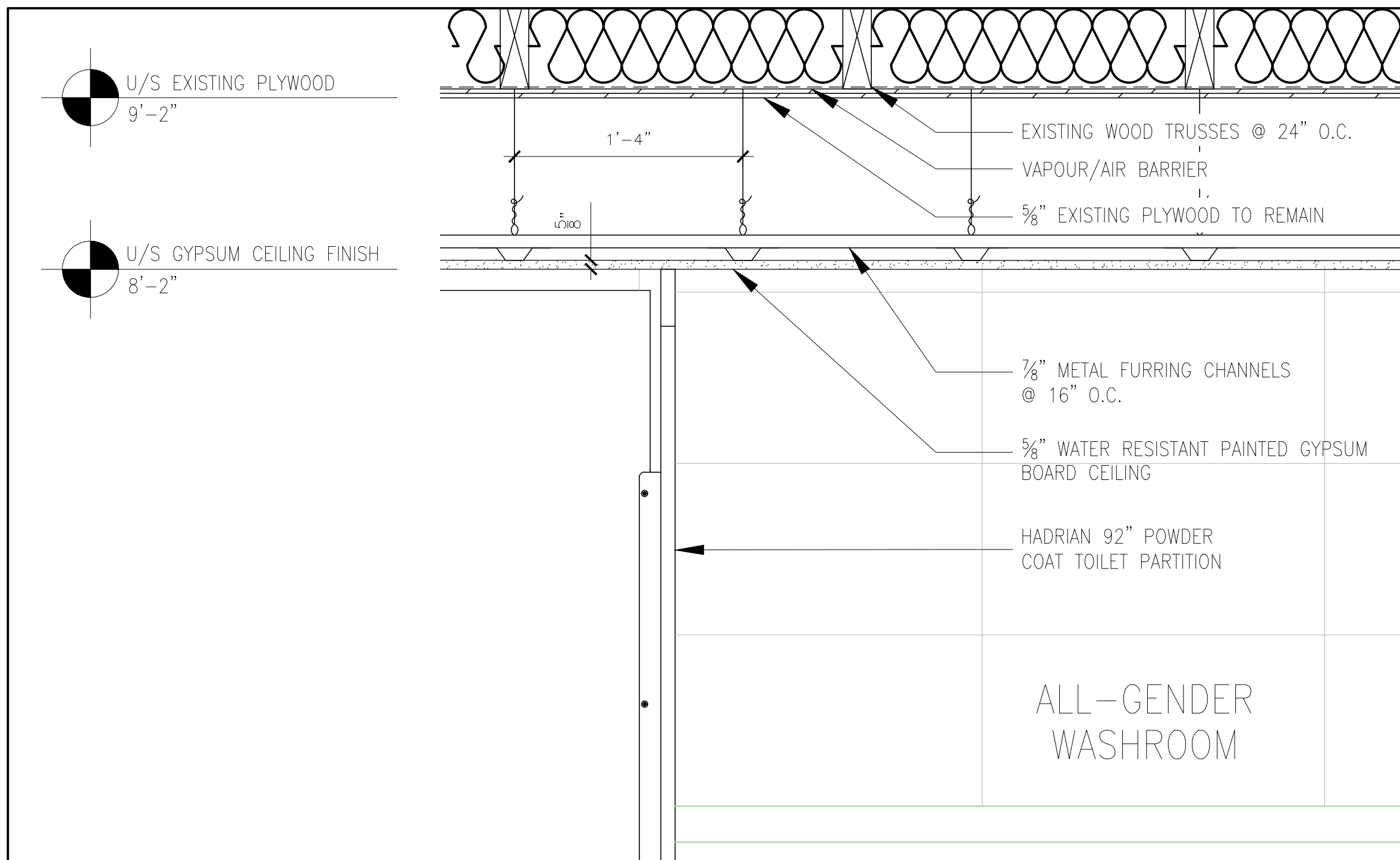
3 INTERIOR ELEVATIONS — ALL GENDER WASHROOM  
A302 SCALE: 1/2" = 1'-0"



4 INTERIOR ELEVATIONS — ALL GENDER WASHROOM  
A302 SCALE: 1/2" = 1'-0"



5 SECTION 2 — ALL GENDER WASHROOM  
A302 SCALE: 1/2" = 1'-0"



6 CEILING DETAIL — ALL GENDER WASHROOM  
A302 SCALE: 1 1/2" = 1'-0"

CLIENT:  
**CENTRAL LAKE ONTARIO  
CONSERVATION  
AUTHORITY**

KEY TO DETAIL NUMBER:

#	DETAIL NUMBER
A###	SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4" BARRIER FREE TURNING DIAMETER.

(N.I.C.) NOT IN THE CONTRACT

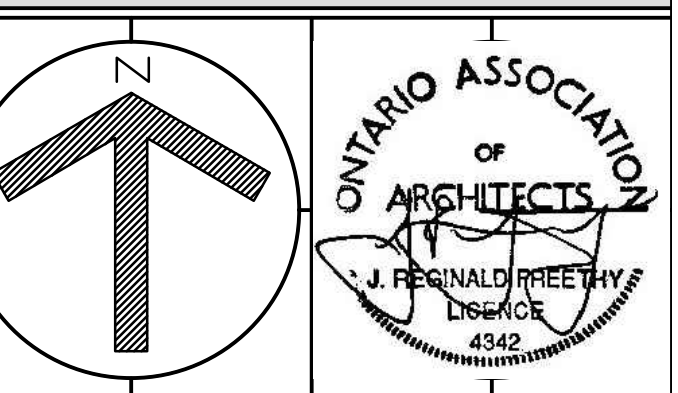
PROVIDE INDICATES SUPPLY AND INSTALL.

03	PERMIT & TENDER	C.N.	11/18/2025
02	CLIENT REVIEW	C.N.	11/07/2025
01	CLIENT REVIEW	C.N.	10/03/2025
No.	DESCRIPTION	BY.	DATE.

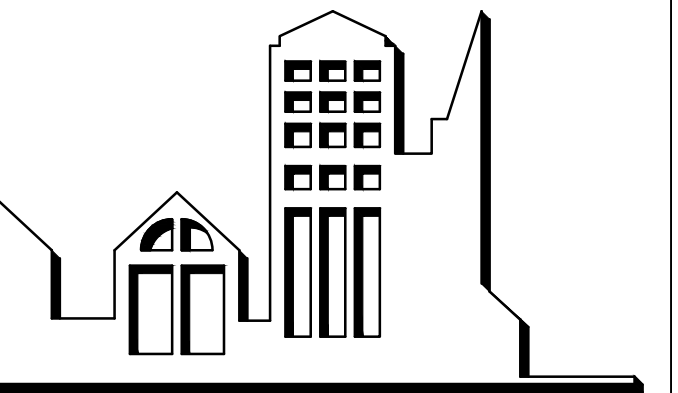
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BOWMANVILLE ONTARIO  
LIC 4P8 TEL: (905) 625 7476

PROJECT:  
**CLOCA RUSS POWELL  
NATURE CENTRE INTERIOR  
WASHROOM ALTERATIONS**  
7274 HOLT ROAD, ENNISKILLEN, ON

SCALE: AS NOTED  
DWG. BY: C. NYARKO  
CHECKED BY: J.R.F.  
STATUS: PERMIT & TENDER  
PLOT FACTOR: 1:1

TITLE:  
**INTERIOR ELEVATIONS  
& SECTIONS**

PROJECT No.:  
**2025-36**  
DATE: OCTOBER 2025

DWG No.:  
**A302**



DOOR SCHEDULE															
			DOOR				FRAME				REMARKS				
DOOR NO.	DOOR TYPE	DOOR SIZE	FIRE RATING LABEL	CORE		MATERIAL	FINISH		HARDWARE				GLAZING	TYPE	REMARKS
				HOLLOW	SOLID		FACTORY FINISH	PAINT	CLOSER	KICK PLATES	LOCKS	POWER DOOR ACTUATOR			
D05	A	3'-2" x 7'-0" x 1 3/4"		●		HM.	●	●	●	●	●	●		F1	PROVIDE BARRIER FREE POWER DOOR ACTUATOR, ELECTRIC STRIKE, OCC PRIVACY LOCK KIT
D06	B	3'-2" x 7'-0" x 1 3/4"		●		HM.	●	●	●	●	●	●		F1	PROVIDE DEADLOCK
DOOR TYPES								FRAME TYPES							

1 DOOR SCHEDULE  
SCALE: 1/4" = 1'-0"

ROOM FINISH SCHEDULE												
ROOM		FLOOR		WALLS				CEILING			REMARKS	
NO.	ROOM NAME	FLOOR	BASE	MATERIAL	HEIGHT	NORTH	SOUTH	EAST	WEST	FINISHED PLANKS	1 LAYER 3/4" THICK GYPSUM BOARD	HEIGHT
D1	CORRIDOR	EX. EPOXY	R.C.B.	4"	GWB.	GWB.	PWD.	PWD.	P.T.	●	●	9'-2"
D2	UNIVERSAL WASHROOM	P.T.	P.T.B.	4"	P.T.	P.T.	P.T.	P.T.	P.T.	●	●	8'-2"
D3	ALL GENDER WASHROOM	P.T.	P.T.B.	4"	P.T.	P.T.	P.T.	P.T.	P.T.	●	●	8'-2"

2 ROOM FINISH SCHEDULE  
SCALE: 1/4" = 1'-0"

WALL TYPES	
♦1	EXISTING BLOCK WALL 8" CONCRETE BLOCK FROM FINISH FLOOR TO CEILING HEIGHT
♦2	EXISTING INTERIOR WALL 1/2" GYPSUM WALL BOARD 3-1/2" WOOD STUDS 8" CONCRETE BLOCK FROM FINISH FLOOR TO CEILING HEIGHT
♦3	INTERIOR WALL 1/2" TYPE "X" GYPSUM WALL BOARD 6" 20 GA. STEEL STUDS @ 16" O.C. FROM FINISH FLOOR TO CEILING HEIGHT
♦4	CHASE PLUMBING WALL 1/2" GEORGIA-PACIFIC "DENS-SHIELD" TILE BACKER BOARD 5/8" DRICORE PLYWOOD 6" BATT INSULATION 6" 20 GA. STEEL STUDS @ 16" O.C. FROM FINISH FLOOR TO CEILING HEIGHT

3 WALL TYPES  
SCALE: 1/4" = 1'-0"

TILE FINISHES	
	FLOOR TILE BRAND: CENTURA MODEL: DOTTI PORCELAIN TILE COLOUR: IVORY FINISH: MATTE SIZE: 12" x 12"
	WALL TILE BRAND: CENTURA MODEL: TANUM PORCELAIN TILE COLOUR: WHITE FINISH: MATTE SIZE: 12" x 24"
	ACCENT WALL TILE BRAND: CENTURA MODEL: HANDI CERAMIC TILE COLOUR: CELADON FINISH: GLOSSY SIZE: 2.5" x 8"
	ACCENT WALL TILE BRAND: CENTURA MODEL: HANDI CERAMIC TILE COLOUR: CELADON ARCO FINISH: GLOSSY SIZE: 2.5" x 8"

4 TILE FINISHES  
SCALE: 1/4" = 1'-0"

SELECTIVE DEMOLITION NOTES	
NOTE D1	REMOVE EXISTING METAL TOILET PARTITIONS, RELATED FASTENERS, CRAB BARS, WASHROOM ACCESSORIES, WALL MOUNTED HAND DRYERS, MIRRORS, COAT HOOKS.
NOTE D2	REMOVE EXISTING CERAMIC TILE FLOOR FINISHES AND COVE BASE. GRIND EXISTING CONCRETE FLOOR SLAB ON GRADE TO REMOVE ALL MORTAR, ADHESIVE.
NOTE D3	SAWCUT EXISTING 4" SLAB ON GRADE AS REQUIRED TO INSTALL NEW SANITARY DRAIN PLUMBING, DRAINS AND CLEANOUTS. (COORDINATE WITH DIVISION 15 MECHANICAL SUBCONTRACTOR).
NOTE D4	REMOVE 2 EXISTING HOLLOW METAL DOORS, FRAMES, HARDWARE.
NOTE D5	CUT BACK EXISTING WALL CONSTRUCTION AS REQUIRED TO INSTALL NEW HOLLOW METAL DOORS AND FRAMES, BARRIER FREE POWER DOOR ACTUATORS.
NOTE D6	ARRANGE FOR ELECTRICIAN TO DISMOUNT EXISTING SURFACE MOUNTED LED FIXTURES AND RETAIN FOR REINSTALLATION IN SCHEDULED LOCATIONS.
NOTE D7	REMOVE THE PERIMETER WOOD TRIM ON BOTH WASHROOM CEILINGS.
NOTE D8	REMOVE EXISTING VANITIES AND ANCHORS.
NOTE D9	REMOVE EXISTING CAULKING AT VANITY LOCATIONS.
NOTE D10	PREPARE EXISTING WALL FINISHES FOR SCHEDULED NEW FINISHES.
NOTE D11	CUT AND PATCH EXISTING CONSTRUCTION AS REQUIRED TO FIT NEW CONSTRUCTION TO EXISTING.
NOTE D12	ARRANGE FOR MECH DIVISION TO REMOVE EXISTING EXHAUST FANS AND ELECTRICIAN TO DISCONNECT THE FANS.
NOTE D13	REMOVE THE EXISTING STAINLESS STEEL WALL GUARDS UNDER THE HAND DRYERS.
NOTE D14	REMOVE EXISTING SOAP DISPENSERS, TURN OVER TO OWNER ON SITE.
NOTE D15	REMOVE THE EXISTING PAPER TOWEL DISPENSERS, TURN OVER TO OWNER ON SITE.
NOTE D16	CUT NEW OPENINGS IN EXISTING CONCRETE BLOCK WALLS FOR NEW SANITARY EXHAUST DUCTWORK AND EXTERIOR LOUVER.
NOTE D17	ENLARGE, CUT NEW OPENING FOR NEW SANITARY EXHAUST STACK. REFER TO MECH DWGS.
NOTE D18	DISPOSE OF THE RESULTANT DEBRIS IN ACCORDANCE WITH APPLICABLE LAW.
NOTE D19	CONCRETE BLOCK, GYPSUM BOARD AND METALS TO BE RECYCLED.

5 SELECTIVE DEMOLITION NOTES  
SCALE: 1/4" = 1'-0"

ELECTRICAL NOTES	
NOTE E1	"WATTSTOPPER" DUAL TECHNOLOGY LINE VOLTAGE CEILING SENSOR DT-355 120V CEILING MOUNTED.
NOTE E2	"WATTSTOPPER" DUAL TECHNOLOGY WALL SWITCH OCCUPANCY SENSOR DSW-301 SET FOR 30 MINUTES DELAY COMPLETE WITH STAINLESS STEEL COVER PLATES.
NOTE E3	RECESSED DOWNLIGHTING: "LITELINE" SLIMLED PLUS 4*120V LED SELECTABLE RECESSED DOWNLIGHT MODEL SLM 4 12WCCT-C-WH. SET FOR 3000K SUITABLE FOR WET LOCATIONS, COMPLETE WITH P-420 MOUNTING PLATE WITH DRIVER ATTACHMENT CLIP.
NOTE E4	ALL ELECTRICAL WORK SHALL CONFORM TO THE ONTARIO ELECTRICAL CODE LATEST EDITION, ELECTRICAL SAFETY CODE, ESA AND ONTARIO BUILDING CODE 2024.
NOTE E5	OBTAIN AND PAY FOR THE ESA PERMIT RELATED TO WORK OF THIS CONTRACT.
NOTE E6	MAINTAIN EXISTING BLDG. ELECTRICAL SERVICE IN OPERATION DURING CONSTRUCTION.
NOTE E7	ALL PRODUCTS SHALL BE CSA APPROVED.
NOTE E8	VERIFY LOADING OF EXISTING CIRCUITS BEING REUSED. PROVIDE NEW BREAKERS TO SUIT LOAD IN EXISTING PANEL LOCATED IN THE EXISTING STORAGE ROOM. UPDATE PANEL SCHEDULE TO REFLECT NEW DEVICES.
NOTE E9	WIRE NEW POWER OUTLETS IN EXISTING PARTITIONS WITH ARMORED CABLE. REMOVE ALL EXISTING WIRING IN PARTITIONS SCHEDULED FOR DEMOLITION.
NOTE E10	ALL WIRING DEVICES SHALL BE COMMERCIAL SPECIFICATION GRADE. RECEPTACLES SHALL BE TAMPER RESISTANT. MINIMUM WIRING SIZE IS # 12 AWG. COPPER.
NOTE E11	ALL WIRING SHALL BE COPPER 190 FOR OVERHEAD INSTALLATION IN EMT. CONDUIT EXCEPT AS NOTED OTHERWISE. MAX BX. RUN FROM JUNCTION BOX TO LIGHT FIXTURES SHALL BE 10FT.
NOTE E12	ALL LIGHTING CONTROLS SHALL BE WIRED TO CONTROL THE RELOCATED AND NEW CEILING LIGHTING FIXTURES.
NOTE E13	RELOCATE EXISTING BATTERY PAK AND EMERG. LIGHTING HEADS AS REQUIRED TO SUIT NEW CEILING HEIGHT. TEST FOR 30 MINUTES MIN. DURATION.
NOTE E14	PROVIDE THE NEW 120 V POWER SUPPLIES FOR THE POWER DOOR OPERATORS AND ALL LOW VOLTAGE ACTUATORS. PROVIDE POWER SUPPLY FOR THE ELECTRIC STRIKES.
NOTE E15	SUBMIT SHOP DRAWINGS FOR THE NEW ELECTRICAL DEVICES.
NOTE E16	IN THE ALL GENDER WASHROOM PROVIDE ONE 'OUELLET' MODEL: OVC1500BL-TH COMPACT 240V SURFACE MOUNTED HEATER MOUNT 6"A.F.F. TO U/S OF HEATER. POWER SUPPLY TO BE FED THRU STORAGE ROOM MASONRY WALL.
NOTE E17	COORDINATE WITH MECHANICAL DIVISION AND PROVIDE DIRECT POWER SUPPLY FOR NEW SANITARY EXHAUST FAN. DISCONNECT AND REMOVE EXISTING 2 CEILING MOUNTED SANITARY EXHAUST FANS.
NOTE E18	ALL NEW OUTLETS IN WASHROOMS SHALL BE GFI COMMERCIAL SPECIFICATION GRADE 20AMP TAMPER RESISTANT RECEPTACLES. 'LEVITON', 'HUBBELL' OR 'EQUAL'. DECORA STYLE WHITE WITH STAINLESS STEEL COVER PLATES.
NOTE E19	PROVIDE NEW HAND DRYERS AS PER THE ARCH DRAWINGS COMPLETE WITH 20A 120V POWER SUPPLY
NOTE E20	EXISTING SURFACE MOUNTED LED STRIP LIGHTS TO BE TEMPORARILY DISMOUNTED AND RELOCATED TO SCHEDULED NEW LOCATIONS. CLEAN LENSES PRIOR TO RE-INSTALLATION. MODIFY EXISTING CIRCUITS AS REQUIRED TO INTERFACE WITH NEW OCCUPANCY SENSORS. RE-FEED FROM MAIN ELECTRICAL PANEL IN THE STORAGE ROOM. REMOVE ABANDONED WIRING SERVING THE FORMER LOCATIONS.
NOTE E21	DO NOT RUN SURFACE MOUNTED CONDUITS ON THE EXISTING VINYL WALL GRAPHIC.
NOTE E22	ALL WIRING SHALL BE FISHED INTO THE EXISTING WALL CONSTRUCTION.
NOTE E23	OBTAIN ESA INSPECTION AT ROUGH IN AND FINAL. PROVIDE ESA CERTIFICATE OF CLEARANCE AT SUBSTANTIAL PERFORMANCE.
NOTE E24	PROVIDE 1 YEAR WARRANTY ON ALL ELECTRICAL MODIFICATIONS UNDER THIS CONTRACT.

6 ELECTRICAL NOTES  
SCALE: 1/4" = 1'-0"

SYMBOL LEGEND - FLOOR FINISHES

	EX. GYPSUM BOARD CEILING TO REMAIN
	EX. GYPSUM WALL BOARD
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INTERIOR RENDER - CORRIDOR/ NEW WASHROOM DOORS



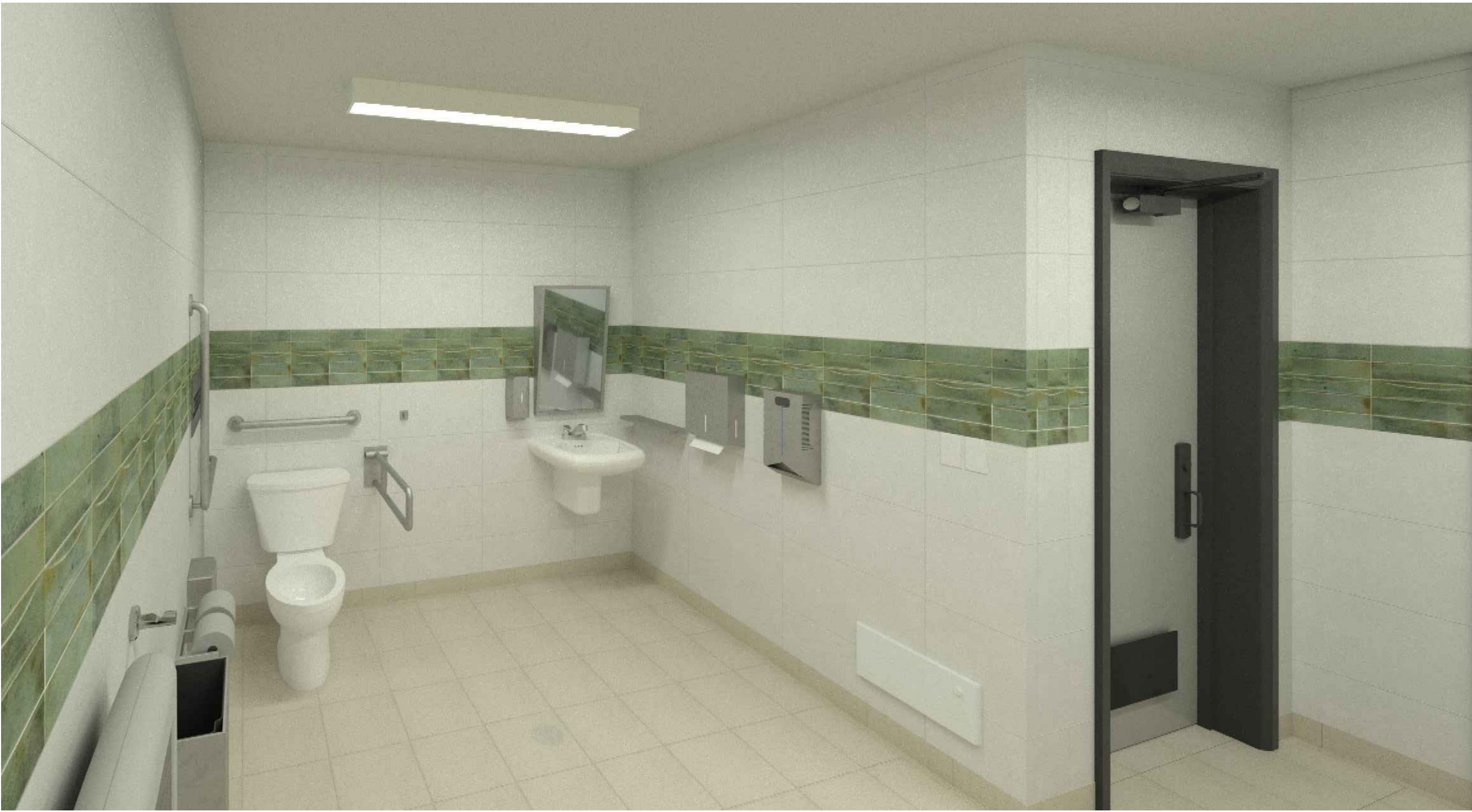
INTERIOR RENDER - ALL GENDER WASHROOM



INTERIOR RENDER - ALL GENDER WASHROOM



INTERIOR RENDER - ALL GENDER WASHROOM



INTERIOR RENDER - UNIVERSAL WASHROOM



INTERIOR RENDER - UNIVERSAL WASHROOM

CLIENT:  
**CENTRAL LAKE ONTARIO  
CONSERVATION  
AUTHORITY**

KEY TO DETAIL NUMBER:

#  
A###

DETAIL NUMBER  
SHEET WHERE DETAILED

SHADED AREA DENOTES EXISTING  
WALL CONSTRUCTION TO REMAIN.

INDICATES 5'-4"  
BARRIER FREE TURNING  
DIAMETER.

(N.I.C.)

NOT IN THE CONTRACT

PROVIDE

INDICATES SUPPLY AND INSTALL.

02	PERMIT & TENDER	C.N. 11/18/2025
01	CLIENT REVIEW	C.N. 11/07/2025
No.	DESCRIPTION	BY. DATE.
REVISIONS		
Do not scale drawings. Work to dimensions only. Contractor shall verify all measurements and report any discrepancies to the architect prior to proceeding with the work. These documents shall not be used for construction, unless signed and sealed by the Consultant. All drawings are the copyright property of the Architect.		
© 2025		

325 LAKE ROAD, SUITE 202  
BOWMANVILLE ONTARIO  
L1C 4P8 TEL. (905) 625 7476

PROJECT:  
**CLOCA RUSS POWELL  
NATURE CENTRE INTERIOR  
WASHROOM ALTERATIONS**  
7274 HOLT ROAD, ENNISKILLEN, ON

SCALE: AS NOTED

DWG. BY: C. NYARKO

CHECKED BY: J.R.F.

STATUS: PERMIT & TENDER

PLOT FACTOR: 1:1

TITLE:  
**RENDERS**

PROJECT No.:  
**2025-36**  
DATE: OCTOBER 2025

DWG. No.:  
**A802**