

#### GENERAL DRAWING NOTES

1. Drawing is in metric scale. All dimensions are in millimeters. Do not scale drawings.
2. Plus/Minus (+/-) dimensions are for general verification purposes only and are NOT to be used to establish layout of any feature(s), ever.
3. The Contractor shall verify all field dimensions onsite during the quotation period. No extras will be allowed for discrepancies between the drawings and the actual site conditions unless reported in writing during the quotation period.
4. It is the Contractor's responsibility to locate and have staked the exact utility location with all companies involved before starting any work. Hand dig within two (2) meters of all electrical lines.
5. Keep the area outside the immediate construction zone clean, safe and usable by the public at all times. Contractor to coordinate all deliveries of materials to ensure minimal construction delays to the approval of the Landscape Architect and/or Owner's representative.
6. Obtain approval of layout from the Landscape Architect and/or Owner's representative prior to commencement.
7. All work to be guaranteed for a period of One (1) Year from the documented date of substantial performance. The Contractor shall notify the Landscape Architect in writing upon completion of work.
8. Make good all damage resulting from work carried out under the contract, at no extra cost. This includes restoration of any/all construction access routes - to as new condition, to the satisfaction of the Landscape Architect and/or Owner's representative.
9. The Landscape Architect is not responsible for the accuracy of survey, engineering or architectural drawings. Contractor to verify existing grading/topographic information prior to installing granular bases.
10. Construction must conform to all applicable codes and regulations of all authorities having jurisdiction.
11. Ensure positive drainage for finished surfaces leaving no pockets or low points for standing water.
12. Wherever any material is specified by name and/or number thereof, such specifications shall be deemed to be used for the purpose of facilitating a description of the materials and establishing quality, and shall be deemed and construed to be followed by the words 'or approved equal'.
13. No substitutions will be permitted which have not been submitted for prior approval by the Landscape Architect or Owner's representative. All materials shall be new and without flaws or defects and shall be the best of their class and kind. Sufficient descriptive literature and/or samples must be submitted as 'Equal' substitutes.
14. All materials and other debris resulting from work shall be removed and disposed of off-site. Efforts shall be made to re-use and recycle excess materials where possible.
15. These notes apply to all parts of this contract.

**Protection and Preservation of Existing Vegetation**

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree to indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Date: \_\_\_\_\_

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect: *G. Brouwer*

Name of Landscape Architect: Gina Brouwer

Date: 26.01.28

Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to Development Engineering and Traffic staff at 905-623-3379.

A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30.

All restoration or work done in the road allowance must be completed as per municipal field staff direction.

The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory.

All materials and other debris resulting from work shall be removed and disposed of off-site. Efforts shall be made to re-use and recycle excess materials where possible.

These notes apply to all parts of this contract.

#### Protection and Preservation of Existing Vegetation

\* Tree Inventory and assessment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they'll be removed carefully and in accordance with accepted arboricultural practices.

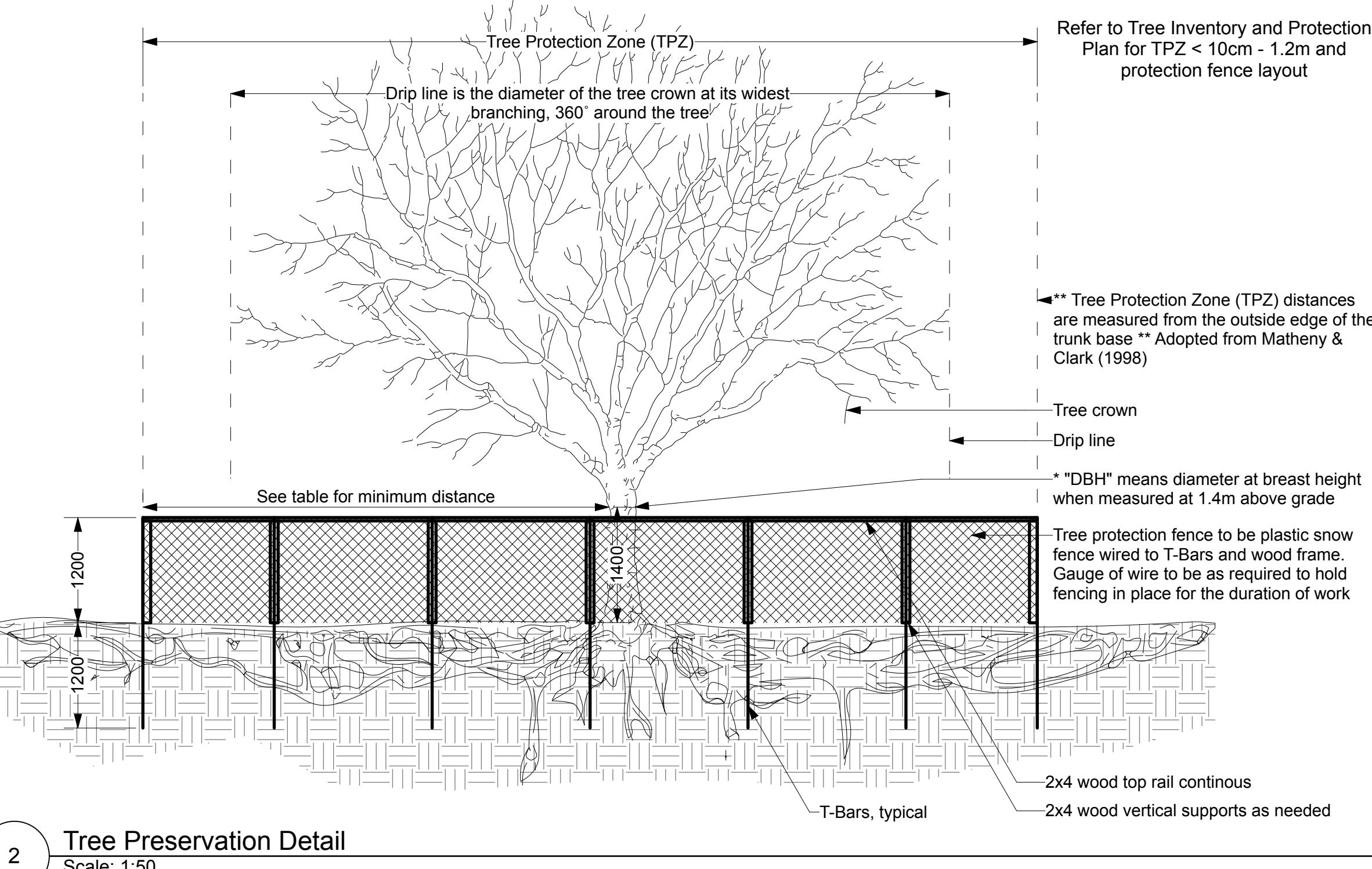
Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result in the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development.

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.



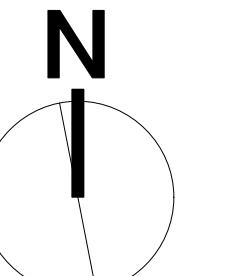
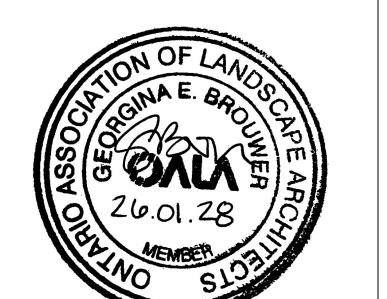
2 Tree Preservation Detail  
Scale: 1:50

#### General Tree Protection Notes

1. All dimensions shown in millimetres.
2. This detail does not represent any particular tree species.
3. The Owner and/or Contractor shall take every precaution necessary to prevent damage to existing trees and vegetation to be retained.
4. Tree protection measure layout and installation shall be reviewed and approved in writing by Consulting Arborist and Landscape Architect prior to commencement of any site activity.
5. Tree protection to remain until all site activities, including landscaping, are complete.
6. No construction activity, grade changes, surface treatment, compaction, excavation or stockpiling of any kind is permitted within the protected area unless noted otherwise on the drawings and confirmed during pre-construction meeting.
7. No contaminants will be dumped or flushed where feeder roots of protected trees exist.
8. No rigging cables will be wrapped around or installed in trees and/or protected areas.
9. Maintain (Mow as required and when directed by contract administrator) existing vegetative cover within fenced area during construction.
10. Tree protection to be adjusted only when needed to complete approved activities within TPZ. Upon completion tree protection shall be reinstated in consultation with the project arborist.
11. Construction activities shown within the TPZ shall be conducted under the guidance and in consultation with an approved ISA Certified Arborist.



Legend:	
TPZ	Property Line
ID	Existing Trees to be Retained Refer to Tree Inventory Table on L2.1.
	L1.1
	Proposed Deciduous Trees- See plant list for additional details
	L1.2.1
	Proposed Coniferous Trees- See plant list for additional details
	L2.1
	Proposed Shrub/Perennial/Vine- See plant list for additional details
	L2.2.1
	Tree Protection Zone Fencing
	Proposed Sod
	Tree Inventory No- See Tree Inventory Chart and Arborist Report for additional details
5	
4	
3	
2	Issued for SPA Resubmission 26.01.28 GB
1	Issued for SPA 25.04.16 GB
No.	Description Date By Issue / Revision Schedule



**TROPHIC DESIGN**

**Disclaimer:**  
All drawing information shall be checked and verified and any discrepancies reported in writing to the Designer before commencing any affected work. This drawing shall be used only for the project named on this drawing and for reference purposes only. This drawing shall not be scaled. This drawing is not for construction unless signed by the Designer.  
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**NOT FOR CONSTRUCTION**

**Client:**  
Cestoil Chemical Inc.

**Project:**  
Warehouse Addition  
1726 Baseline Rd, Courtice, ON

**Drawing Title:**  
Tree Inventory and Landscape Plan

Designed By: HC	Project #: 24.38
Drawn By: HC	
Approved By: GB	
Date: 25.02.18	Drawing #:

**L 1.1**

