

GENERAL DRAWING NOTES

- Drawing is in metric scale. All dimensions are in millimeters. Do not scale drawings.
- Plus/Minus (+/-) dimensions are for general verification purposes only and are NOT to be used to establish layout of any feature(s), ever.
- The Contractor shall verify all field dimensions onsite during the quotation period. No extras will be allowed for discrepancies between the drawings and the actual site conditions unless reported in writing during the quotation period.
- It is the Contractor's responsibility to locate and have staked the exact utility location with all companies involved before starting any work. Hand dig within two (2) meters of all electrical lines.
- Keep the area outside the immediate construction zone clean, safe and usable by the public at all times. Contractor to coordinate all deliveries of materials to ensure minimal construction delays to the approval of the Landscape Architect and/or Owner's representative.
- Obtain approval of layout from the Landscape Architect and/or Owner's representative prior to commencement.
- All work to be guaranteed for a period of One (1) Year from the documented date of substantial performance. The Contractor shall notify the Landscape Architect in writing upon completion of work.
- Make good all damage resulting from work carried out under the contract, at no extra cost. This includes restoration of any/all construction access routes - to as new condition, to the satisfaction of the Landscape Architect and/or Owner's representative.
- The Landscape Architect is not responsible for the accuracy of survey, engineering or architectural drawings. Contractor to verify existing grading/topographic information prior to installing granular bases.
- Construction must conform to all applicable codes and regulations of all authorities having jurisdiction.
- Ensure positive drainage for finished surfaces leaving no pockets or low points for standing water.
- Wherever any material is specified by name and/or number thereof, such specifications shall be deemed to be used for the purpose of facilitating a description of the materials and establishing quality, and shall be deemed and construed to be followed by the words 'or approved equal'.
- No substitutions will be permitted which have not been submitted for prior approval by the Landscape Architect or Owner's representative. All materials shall be new and without flaws or defects and shall be the best of their class and kind. Sufficient descriptive literature and/or samples must be submitted as 'Equal' substitutes.
- All materials and other debris resulting from work shall be removed and disposed of off-site. Efforts shall be made to re-use and recycle excess materials where possible.
- These notes apply to all parts of this contract.

We agree to implement the approved landscape plans within 18 months after the execution of Site Plan Agreement and will retain a landscape architect to make periodic site inspections and on completion of the landscape works, we will forward to you a copy of the Landscape Completion Notification Certificate' from the landscape architect.

Any revision to the landscape plans will be submitted to the Department of Planning and Development of the Municipality of Clarington and before commencement of the works, for review and approval.

We hereby authorize the Municipality, its authorized agents, servants or employees to enter upon our land to which these drawings apply, to carry out inspections from time to time and agree o indemnify the Municipality and its authorized agents and save them harmless from any and all actions arising out of the exercise by the Municipality, its authorized agents, servants or employees of the rights hereby given to them. And we further undertake to notify the Municipality forthwith of any change of ownership of the said lands.

Signature of Owner: \_\_\_\_\_  
Name of Owner: \_\_\_\_\_  
Address: \_\_\_\_\_  
Date: \_\_\_\_\_

I hereby certify that these Landscape Plans conform to the Site Grading and Drainage Plan for this project, as submitted by the project's Consulting Engineer.

Signature of Landscape Architect: Gina Brouwer  
Name of Landscape Architect: Gina Brouwer  
Date: 26.01.28

Respecting all work in the municipal right of way, the contractor is to provide at least 48 hours prior notice to Development Engineering and Traffic staff at 905-623-3379.

A Road Occupancy Permit will be required for any work done in the municipal road allowance. Excavation of the road surface is not permitted between December 1st and April 30.

All restoration or work done in the road allowance must be completed as per municipal field staff direction.

The performance guarantee will not be refunded by the Municipality of Clarington unless the works have been inspected by municipal forces and deemed to be complete and satisfactory.

Protection and Preservation of Existing Vegetation

\* Tree Inventory and assesment completed by Gina Brouwer, ISA Certified Arborist ON-0937A on November 25, 2022.

All existing trees and other plants which are to remain shall be fully protected with hoarding (i.e. snow fencing) erected beyond their 'drip line' prior to the issuance of the Building Permit, to the satisfaction of the Planning and Development Department. Areas within the fencing shall remain undisturbed and shall not be used for the storage of building materials or equipment.

No rigging cables shall be wrapped around or installed in trees and surplus soil, equipment debris or materials shall not be placed over root systems of the trees within the protective fencing. No contaminants will be dumped or flushed where feeder roots of trees exist.

The developer or his/her agents shall take every precaution necessary to prevent damage to trees or shrubs to be retained.

Where limbs or portions of trees are removed to accommodate construction work, they ill be removed carefully and in accordance with accepted arboricultural practices.

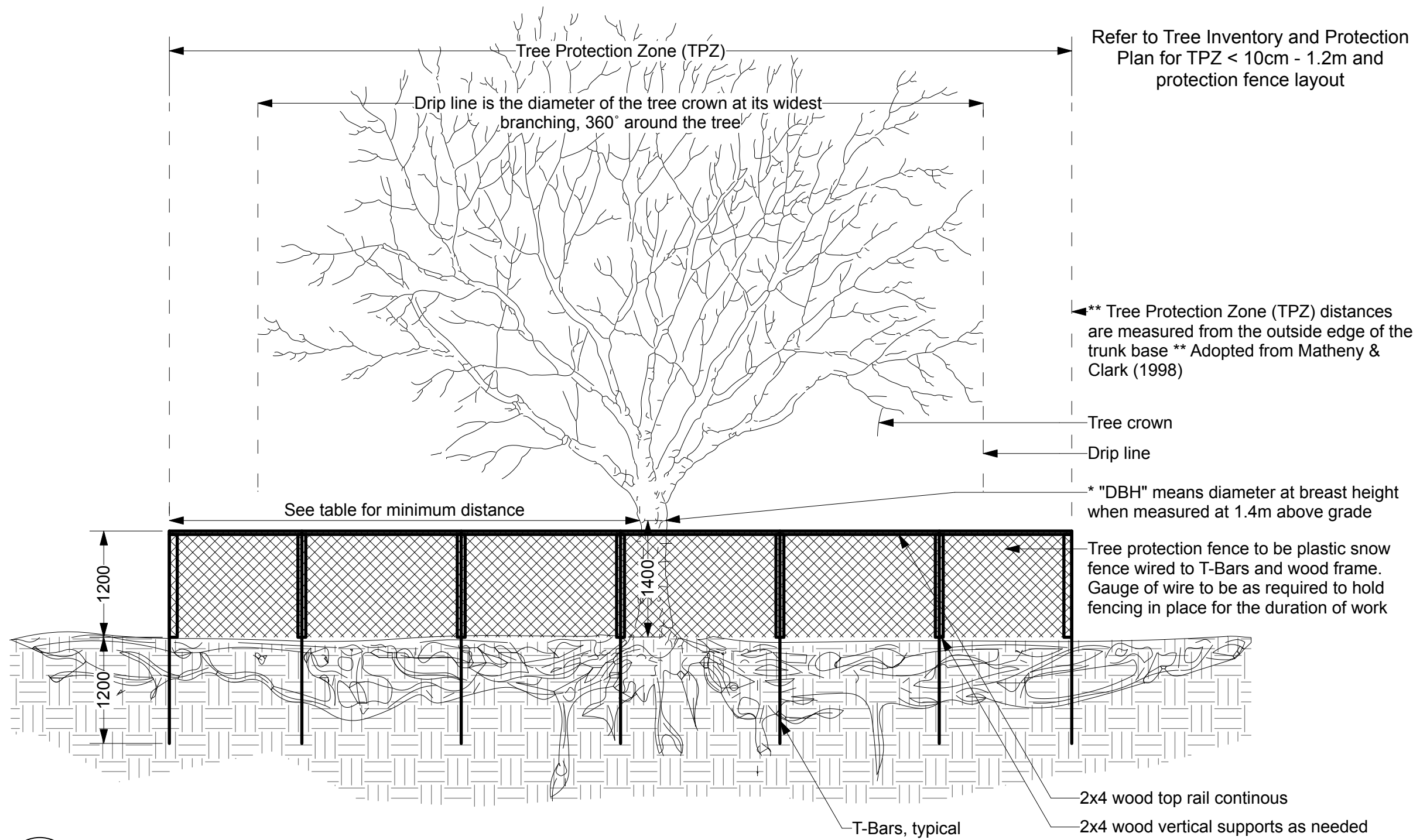
Where root systems of protected trees are exposed directly adjacent to construction work or damaged by said work, they shall be trimmed neatly and the area backfilled with appropriate material to prevent desiccation.

Where necessary, the trees will be given an overall pruning to restore the balance between roots and top growth or to restore the appearance of the trees.

Trees that have died or have been damaged beyond repair, shall be removed and replaced by the owner at his own expense with trees of a similar size, species and of equal value as approved by the Director of Planning and Development. Failure to replace damaged trees to a condition satisfactory to the Municipality shall result n the Municipality exercising its right to draw on the Letter of Credit.

If grades around trees to be protected are likely to change, the owner shall be required to take such precautions as dry welling, retaining walls and root feeding to the satisfaction of the Director of Planning and Development..

All excavation within the Tree Protection Zone (TPZ) around existing trees to be retained shall be hand dug.



General Tree Protection Notes

- All dimensions shown in millimeters.
- This detail does not represent any particular tree species.
- The Owner and/or Contractor shall take every precaution necessary to prevent damage to existing trees and vegetation to be retained.
- Tree protection measure layout and installation shall be reviewed and approved in writing by Consulting Arborist and Landscape Architect prior to commencement of any site activity.
- Tree protection to remain until all site activities, including landscaping, are complete.
- No construction activity, grade changes, surface treatment, compaction, excavation or stockpiling of any kind is permitted within the protected area unless noted otherwise on the drawings and confirmed during pre-construction meeting.
- No contaminants will be dumped or flushed where feeder roots of protected trees exist.
- No rigging cables will be wrapped around or installed in trees and/or protected areas.
- Maintain (Mow as required and when directed by contract administrator) existing vegetative cover within fenced area during construction.
- Tree protection to be adjusted only when needed to complete approved activities within TPZ. Upon completion tree protection shall be reinstated in consultation with the project arborist.
- Construction activities shown within the TPZ shall be conducted under the guidance and in consultation with an approved ISA Certified Arborist.

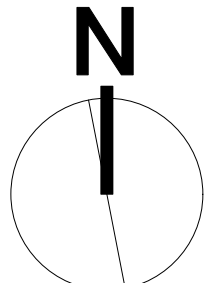
Key Plan:



Legend:

Property Line			
TPZ	Existing Trees to be Retained Refer to Tree Inventory Table on L2.1.	2	L 1.1
TPZ	Proposed Deciduous Trees- See plant list for additional details	1	L 2.1
TPZ	Proposed Coniferous Trees- See plant list for additional details	2	L 2.1
TPZ	Proposed Shrub /Perennial/Vine- See plant list for additional details	3	L 2.1
TPZ	Tree Protection Zone Fencing		
TPZ	Proposed Sod		
TPZ	Tree Inventory No.- See Tree Inventory Chart and Arborist Report for additional details		

5			
4			
3			
2	Issued for SPA Resubmission	26.01.28	GB
1	Issued for SPA	25.04.16	GB
No.	Description	Date	By
Issue / Revision Schedule			



Disclaimer:  
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NOT FOR CONSTRUCTION

Client:

Cestoil Chemical Inc.

Project:

Warehouse Addition

1726 Baseline Rd, Courtice, ON

Drawing Title:

Tree Inventory and Landscape Plan

Designed By: HC

Project #: 24.38

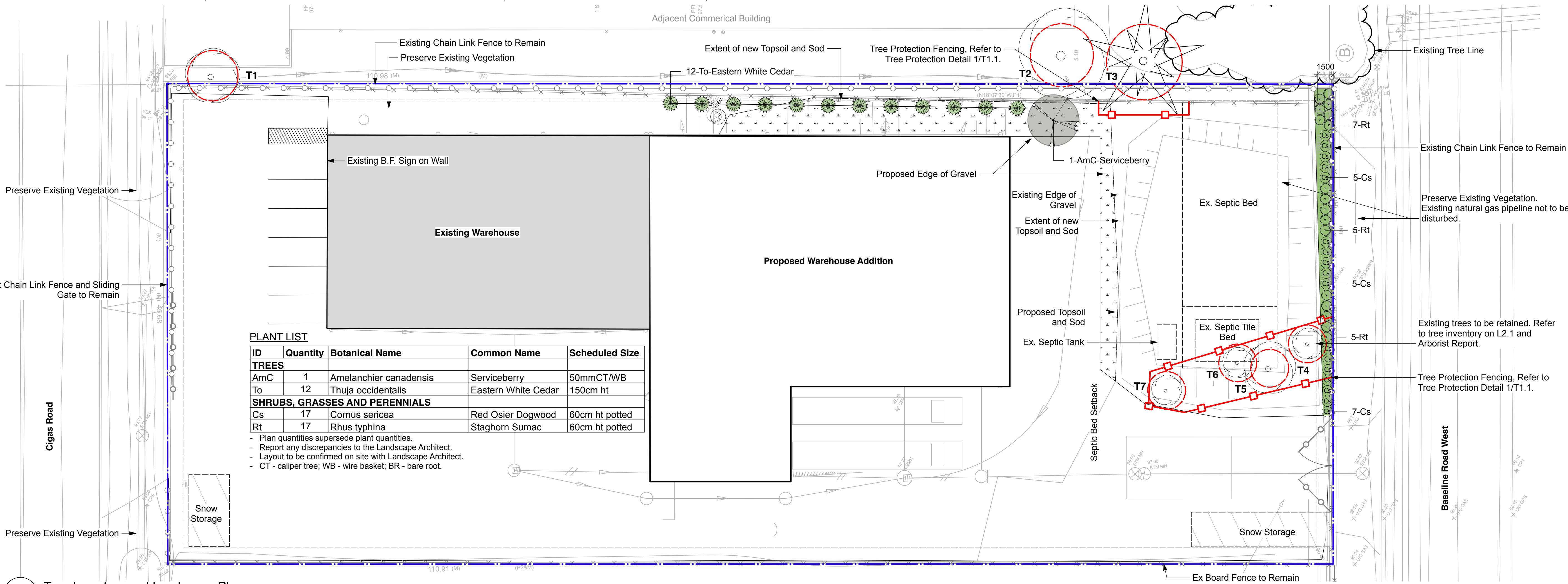
Drawn By: HC

Approved By: GB

Drawing #:

Date: 25.02.18

L 1.1



PLANT LIST

ID	Quantity	Botanical Name	Common Name	Scheduled Size
TREES				
AmC	1	Amelanchier canadensis	Serviceberry	50mmCT/WB
To	12	Thuja occidentalis	Eastern White Cedar	150cm ht
SHRUBS, GRASSES AND PERENNIALS				
Cs	17	Cornus sericea	Red Osier Dogwood	60cm ht potted
Rt	17	Rhus typhina	Staghorn Sumac	60cm ht potted
- Plan quantities supersede plant quantities.				
- Report any discrepancies to the Landscape Architect.				
- Layout to be confirmed on site with Landscape Architect.				
- CT - caliper tree; WB - wire basket; BR - bare root.				



TREE INVENTORY

Tree #	Scientific Name	Common Name	DBH (cm)	Tree Protection Measures		TPZ (m)	Comments
				Remove	Preserve		
T1	<i>Tilia americana</i>	Basswood	~35		X	2.4	Adjacent Property, suckering at base
T2	<i>Robinia pseudoacacia</i>	Black Locust	~45		X	3	Adjacent Property
T3	<i>Picea pungens</i>	Blue Spruce	~50		X	3.6	Adjacent Property
T4	<i>Populus sp.</i>	Poplar	10		X	1.2	close to chain link fence
T5	<i>Robinia pseudoacacia</i>	Black Locust	15		X	1.8	
T6	<i>Robinia pseudoacacia</i>	Black Locust	7		X	1.2	
T7	<i>Robinia pseudoacacia</i>	Black Locust	5		X	1.2	Suckering at base

Date of Inspection: March 14, 2025. Arborist and Tree Assessment by ISA Certified Arborist Gina Brouwer (ON-0937A). Refer to Arborist Report.

GENERAL LANDSCAPE NOTES

- All planting and associated landscape work shall comply with the *Canadian Society of Landscape Architects - Canadian Landscape Standard*, latest edition. ition.
- All nursery stock shall comply with the Canadian Nursery Landscape Association — *Canadian Nursery Landscape Association - Canadian Nursery Standard*, latest edition.
- Landscape work shall be carried out by experienced professionals with a minimum 5 years proven experience.
- The Contractor shall notify the Landscape Architect for review and approval of layout. Work that has been installed without layout approval that requires adjustment will be corrected at the Contractor's expense. The Landscape Architect reserves the right to adjust layout based on site conditions. Layout shall adhere to all authority clearances and setbacks. Trees shall not be directly over or under utilities.
- The Landscape Architect may reject any work, whether installed or not, that does not confirm to specifications.
- The Contractor shall notify the Landscape Architect upon completion of work to arrange for substantial performance inspection and approval. Inspection shall be carried out during the leaf-on growing season.
- Plant material shall have nursery labels intact and trunk wrap and ties removed for substantial performance review. The Contractor shall remove all labels, tags and ties following substantial performance review.
- Corrective pruning shall be completed by the Contractor in accordance with *ISA Best Management Practice Pruning Standard* prior to inspection and include the removal of dead or broken branches, suckers and co-dominant leaders.
- Any leaning plant material shall be corrected by the Contractor prior to inspections.
- The Contractor shall carry out maintenance of all work immediately following installation until the end of the warranty period. Maintenance shall include all measures necessary to establish and maintain all plants and associated landscape work in an acceptable, vigorous and healthy condition including rodent protection, cultivating, weeding, watering, pruning and maintenance of all accessones.
- The Contractor shall notify the Landscape Architect at the end of the warranty period to arrange for final completion inspection. Inspection shall be carried out during the leaf-on growing season. The Contractor shall remove all staking prior to inspection for final completion if plant material is stable. Staking shall be left in place for removal by the Owner if plant material is not stable. At the time of final inspection all planting beds and tree pits shall be freshly cultivated, free of weeds, leaves, broken branches or debris.
- Any work that is not in satisfactory condition or does not meet the specifications shall be replaced within two (2) weeks of notification at the Contractor's expense. Replacement work shall include warranty equal to the original installation.

GROWING MEDIA

- All subsoil shall be scarified to be the specified depth prior to the installation of growing media. Growing media shall be mixed in to the scarified subsoil interface.
- On-site (preserved) soil to be used as growing media should be tested by the Owner's consultant for recommendations to be included in the Contractor's scope of work.
- The Contractor shall provide origin documentation for approval for all imported growing media. Imported growing media shall be tested by a reputable laboratory at the expense of the Contractor or Owner. The results of the soil test and recommendations are to be provided to the Landscape Architect for approval one week prior to work commencing. If necessary, recommendations from the laboratory are to be implemented at the Contractor's expense.
- Growing media shall not contain any extraneous physical or chemical properties that may detract from supporting plant growth, no subsoil contamination, roots or stones over 50mm diameter.
- Growing media depths shall be noted on the drawings and details. Growing media shall be installed in lifts and compacted to be firm under foot.
- Growing media shall meet Canadian Landscape Standard nutrient levels identified in Section 5.2.7 and properties for Level 3 Moderate
- Growing media properties shall be adjusted to meet requirements for L - low traffic lawn areas, trees and large shrubs; H - high traffic lawn areas; and P - planting areas.

PLANT MATERIAL

- Contractor shall verify all plant material on drawing(s) and plant material list(s) and report any discrepancies during the bidding process.
- All plants shall be healthy, vigorous, and free of disease, insect pests, and invasive or noxious plant species. All plant parts shall be free from defects, decay, disfigurements and injury.
- There shall be no substitutions of plants without prior written approval from the Landscape Architect.
- The Landscape Architect reserves the right to reject plant material after installation and throughout the warranty period.

PLANTING

- Planting shall only be carried out during periods that are normal for such work as determined by local weather conditions, when seasonal conditions are likely to provide successful adaptation of plants in their new environment.
- Plants shall be well watered prior to being planted.
- Where poor drainage or percolation is suspected or observed, the Contractor shall report it to the Landscape Architect and rectify the condition prior to planting.
- Plants shall be stabilized using methods such that the crown of each tree is permitted free movement but normal forces will not shift the rootball in the growing medium. All tree stabilization methods shall be such that they do not damage the plants.

MULCH

- Mulch shall be commercially prepared four-season aged pine bark. The Contractor shall submit a sample of mulch and source for approval prior to delivery.
- Mulch shall be free of debris, construction waste and hardwood chips.
- Mulch shall not be placed against trunks or on top of branches and foliage.

WATERING

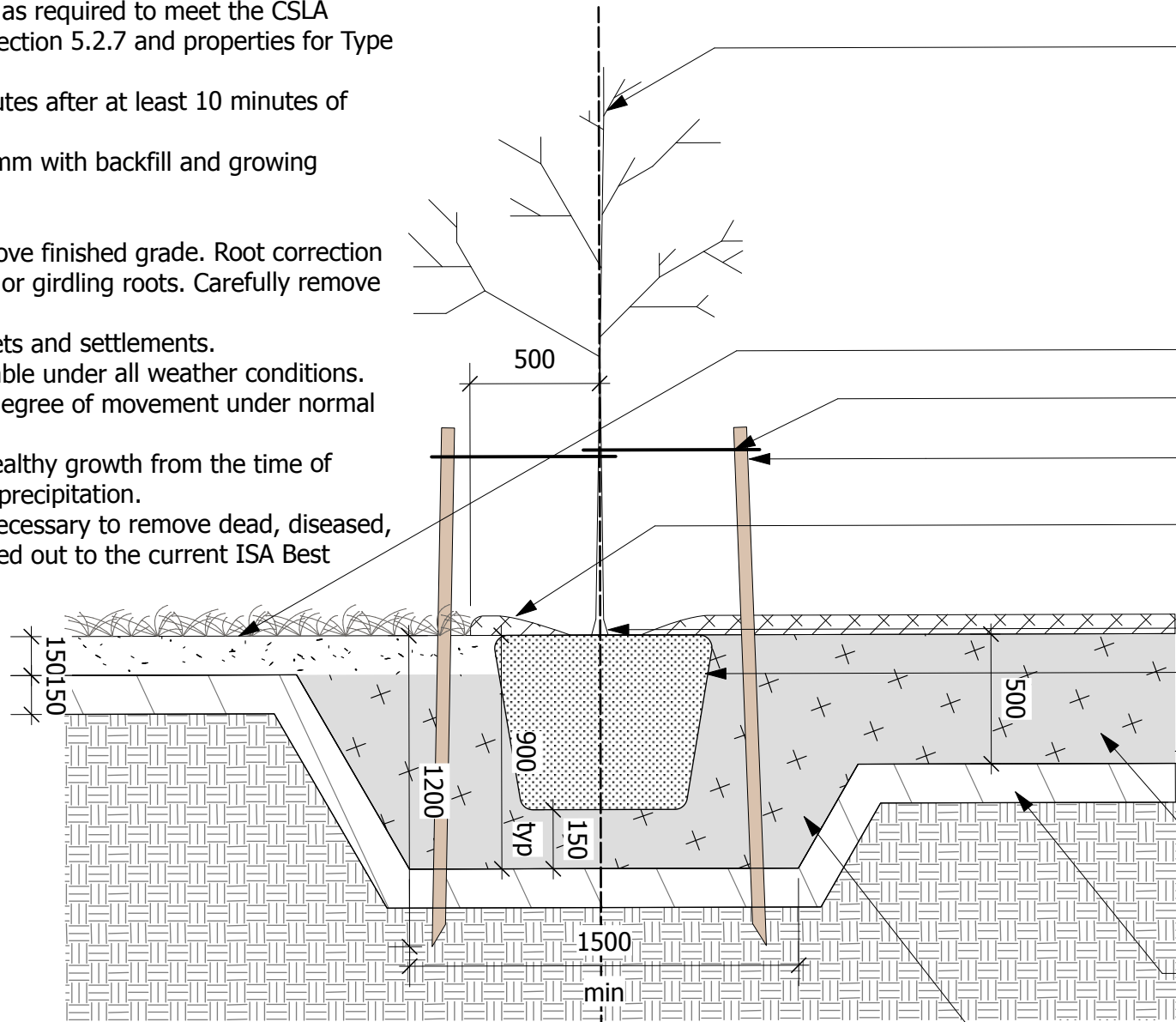
- The Contractor shall water all plants and turf areas immediately after planting to the depth of their root systems.
- The Contractor shall carry out supplemental watering of all new plants for the first full growing season under warranty.
- Watering shall supplement natural precipitation to ensure soil moisture content is maintained at 50 percent to 100 percent field capacity.
- A minimum frequency of once per month throughout the growing season is required. Apply water to the root area, around the trunk/stem and within the dripline to saturate the soil to a minimum of 500mm.
- The Contractor shall water all coniferous trees in late fall, prior to freeze-up.
- Watering bags may be used for trees. 20 gallon drip watering bags shall be installed at the base of each tree with no mulch between the bag and the trunk. The Contractor shall monitor bags and tree trunks for damage and repair/replace as required. Watering bags shall be removed during winter and at the end of the warranty period.
- If no automated irrigation system or on-site hose bib has been provided for watering operations, the Contractor shall provide water to the site.
- Watering operations shall not disturb or wash away mulch, soil or turf.
- The Contractor shall monitor new plantings for signs of drought.

SOD

- Sod all be designated and disturbed areas.
- Sod shall be certified Number One Grade Natural Grass Nursery Sod — "Kentucky Bluegrass/Fine Fescue Mix", grown and sold in accordance with the Nursey Sod Growers Association of Ontario.
- Approval of site preparation shall be obtained prior to commencement of sod placement.
- Fertilizer shall be applied as identified by growing medium test results.
- Sodding shall be carried out during periods when seasonal conditions provide sucessful rooting and continued growth. All sodding shall be conducted when growing media is free of frost, snow and standing water.
- Sod shall be pegged where required to provide secure anchorage. Pegs shall be removed before pedestrian traffic is permitted and after turf is well rooted.
- The Contractor shall install temporary barricades and signage to protect newly sodded areas from damage from pedestrian and vehicular traffic.
- Upon installation the Contractor shall water the sod to saturate the sod and upper 100mm of topsoil. After the sod and soil have dried sufficiently to prevent damage, it shall be rolled.
- The Contractor shall water sodded areas in sufficient quantities and at frequency required to maintain optimum soil moisture to a depth of 100mm until rooted and at weekly intervals during warrenty growing season.
- The Contractor shall be responsible for mowing the sod areas at least once to a height of 50mm when or before it reaches a height of 75mm. The last mowing shall be within 48 hours of field review for acceptance.
- Sod shall be sufficiently established so that its roots are growing into the underlying growing medium with no visible seams and free of weeds for acceptance.

General Notes

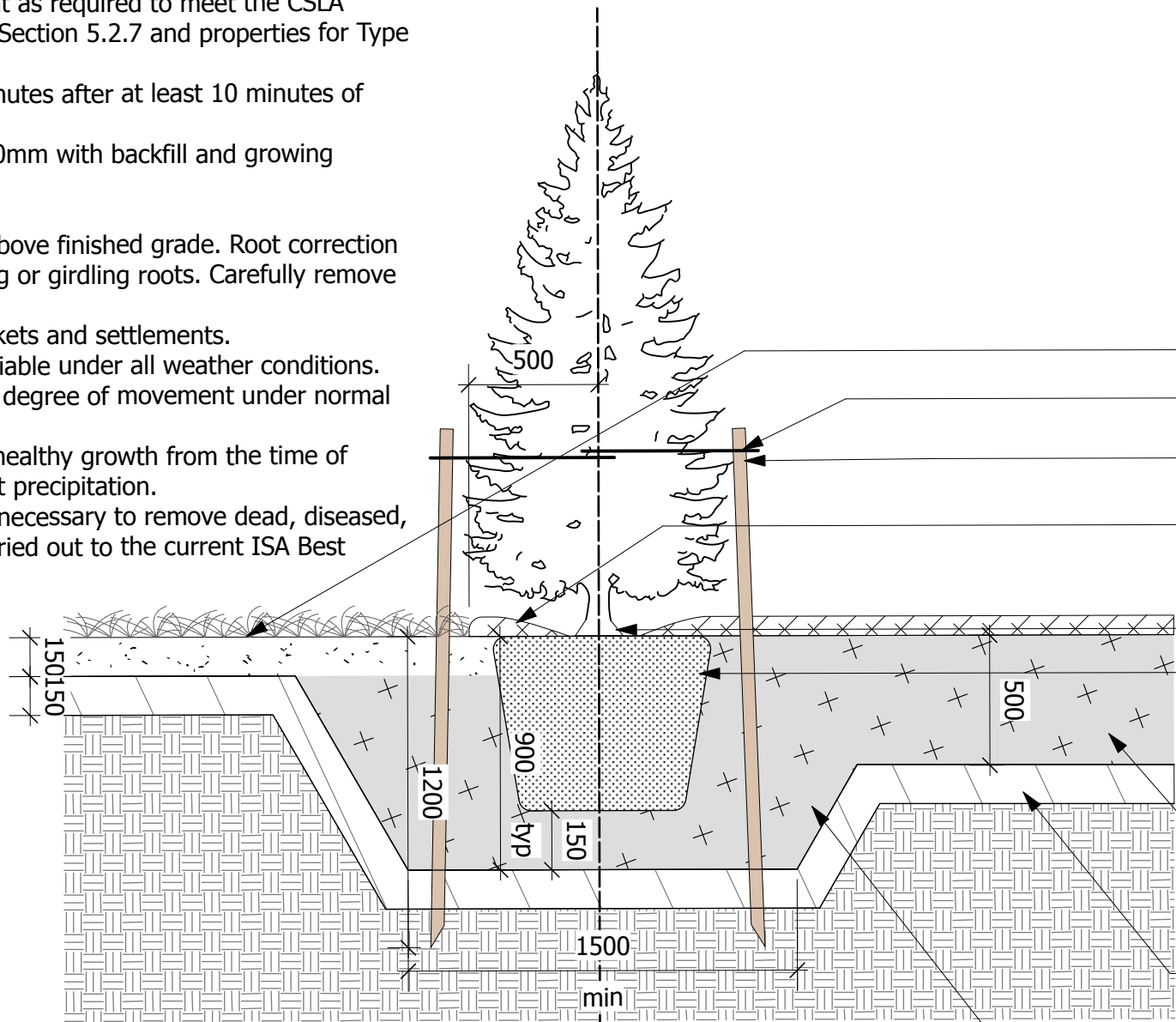
- All proposed tree planting areas shall be tested for percolation, soil quality and pH that is capable of supporting heathy tree growth.
- Native backfill shall be used with soil amendment or replacement as required to meet the CSLA Canadian Landscape Standard for Growing Medium nutrients in Section 5.2.7 and properties for Type 3L in table T-5.3.5.1.
- Percolation shall be such that no standing water is visible 60 minutes after at least 10 minutes of moderate irrigation.
- Planting pit sides and bottom shall be scarified to a depth of 150mm with backfill and growing medium thoroughly mixed in.
- Trees shall be set plumb in the centre of planting pits.
- Trees shall be planted with the structural root collar 25-50mm above finished grade. Root correction may be required to remove excess soil or defects such as circling or girdling roots. Carefully remove any excess soil around trunk.
- Backfill, compact and water growing medium to prevent air pockets and settlements.
- Tree ties shall not damage the bark and shall remain soft and pliable under all weather conditions. Ties shall be installed so that the tree is permitted a reasonable degree of movement under normal forces.
- Water thoroughly during growing season to maintain vigorous, healthy growth from the time of delivery/installation to the end of warranty period to supplement precipitation.
- Pruning at the time of planting shall be limited to the minimum necessary to remove dead, diseased, damaged, crossing and defective branches. Pruning shall be carried out to the current ISA Best Management Practices Pruning Standard.
- All removed and excess material shall be disposed off site.



1 Deciduous Tree Planting  
Scale: 1:25

General Notes

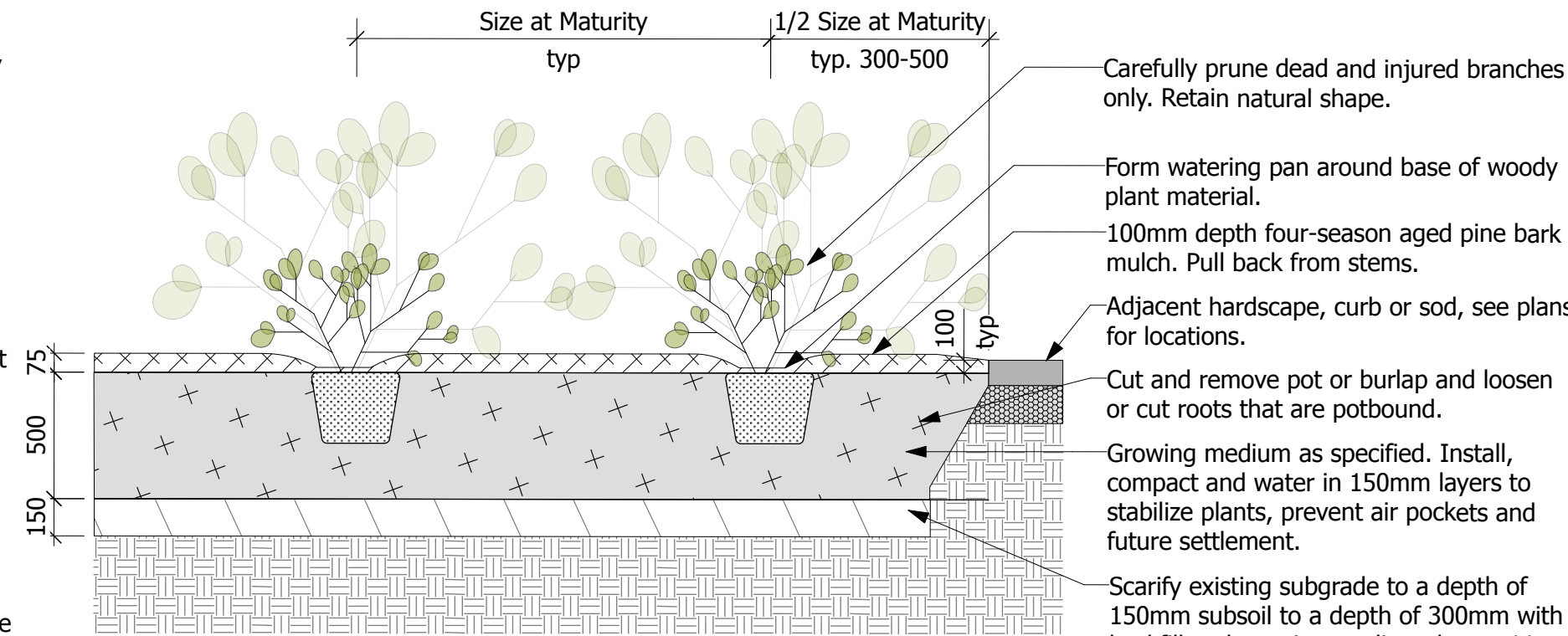
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- Water thoroughly during growing season to maintain vigorous, healthy growth from the time of delivery/installation to the end of warranty period to supplement precipitation.
- Pruning at the time of planting shall be limited to the minimum necessary to remove dead, diseased, damaged, crossing and defective branches. Pruning shall be carried out to the current ISA Best Management Practices Pruning Standard.
- All removed and excess material shall be disposed off site.



2 Coniferous Tree Detail  
Scale: 1:25

General Notes

- Excavate continuous planting bed where woody shrubs and perennials are mass planted as shown on plans.
- All perennials and shrubs are to be planted in continuous planting beds unless otherwise noted.
- Planting pit sides and bottom shall be scarified to a depth of 150mm with backfill and growing medium thoroughly mixed in.
- Native backfill shall be used with soil amendment or replacement as required to meet the CSLA Canadian Landscape Standard for Growing Medium nutrients in Section 5.2.7 and properties for Type 2P in table T-5.3.5.3.
- Plants shall be set plumb in the planting beds.
- Continuously mulch planting beds with 100mm compacted depth four-season aged pine bark mulch.
- Water thoroughly during growing season to maintain vigorous, healthy growth from the time of delivery/installation to the end of warranty period to supplement precipitation.



3 Shrub Planting  
Scale: 1:25

Key Plan:

Legend:

5			
4			
3			
2	Issued for SPA Resubmission	26.01.28	GB
1	Issued for SPA	25.04.16	GB
No.	Description	Date	By
Issue / Revision Schedule			



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NOT FOR CONSTRUCTION

Client:

Cestoil Chemical Inc.

Project:

Warehouse Addition

1726 Baseline Rd, Courtice, ON

Drawing Title:

Landscape Details  
Landscape Plan

Designed By: HC	Project #: 24.38
Drawn By: HC	
Approved By: GB	Drawing #: <b>L 2.1</b>
Date: 25.02.18	