



Peterborough Victoria
Northumberland and Clarington
Catholic District School Board

**PVNC
Catholic**

2026-T-10

St. Joseph CES Drainage Improvements

ADDENDUM #2

This addendum shall form an integral part of the bid documents for the above noted bid and shall be read in conjunction therewith. This addendum shall, however, take precedence over all requirements as it pertains to the particular and specific items noted below.

Additional Information

Add (1):

GENERAL

- Repaint existing basketball markings on asphalt – see Image 1.
- Maintain location of existing main playground structure. Carefully relocate north slide and post with ladder to east side of playground structure and re-pour foundation as required. Remove and dispose of existing foundation associated with that slide – see Image 2.
- Remove Corkscrew component on main playground structure and dispose of associated foundation. Return equipment to Owner – see Image 3.
- Extend north side of new synthetic rubber surface and timber curb edging to new retaining wall. Maintain minimum 1.8 m from main play structure to new retaining wall.
- Remove all other existing auxiliary play equipment and associated foundations. Return all equipment to owner – see Image 4.

SPECIFICATIONS

- **SECTION 32 32 16 - Precast Concrete Retaining Walls**

Add subsection:

3.7 Field Quality Control

1. The independent specialty engineer responsible for the design of precast concrete retaining walls shall:
 1. Conduct periodic field reviews during construction and shall submit field review reports within three days of each visit

2. Following completion of the work, provide the Consultant with a stamped letter certifying that the design and installation meet the requirements set out in the engineered shop drawings.
2. Provide the Independent Specialty Engineer's letters of review and sign-off letters as specified in Section 01 78 00 for precast concrete retaining walls.

DRAWINGS

- **DRAWING A103 – PART SITE PLAN**

- Note 1: Top of existing curb portion to be cut down to provide level surface between middle stair landing and adjacent artificial turf area. Wall to be cut down approx. 3" below final grade level and then patched with a suitable concrete repair product to ensure min 2" cover above existing rebar in wall. Top of patched portion to be flush with top of mid stair landing.

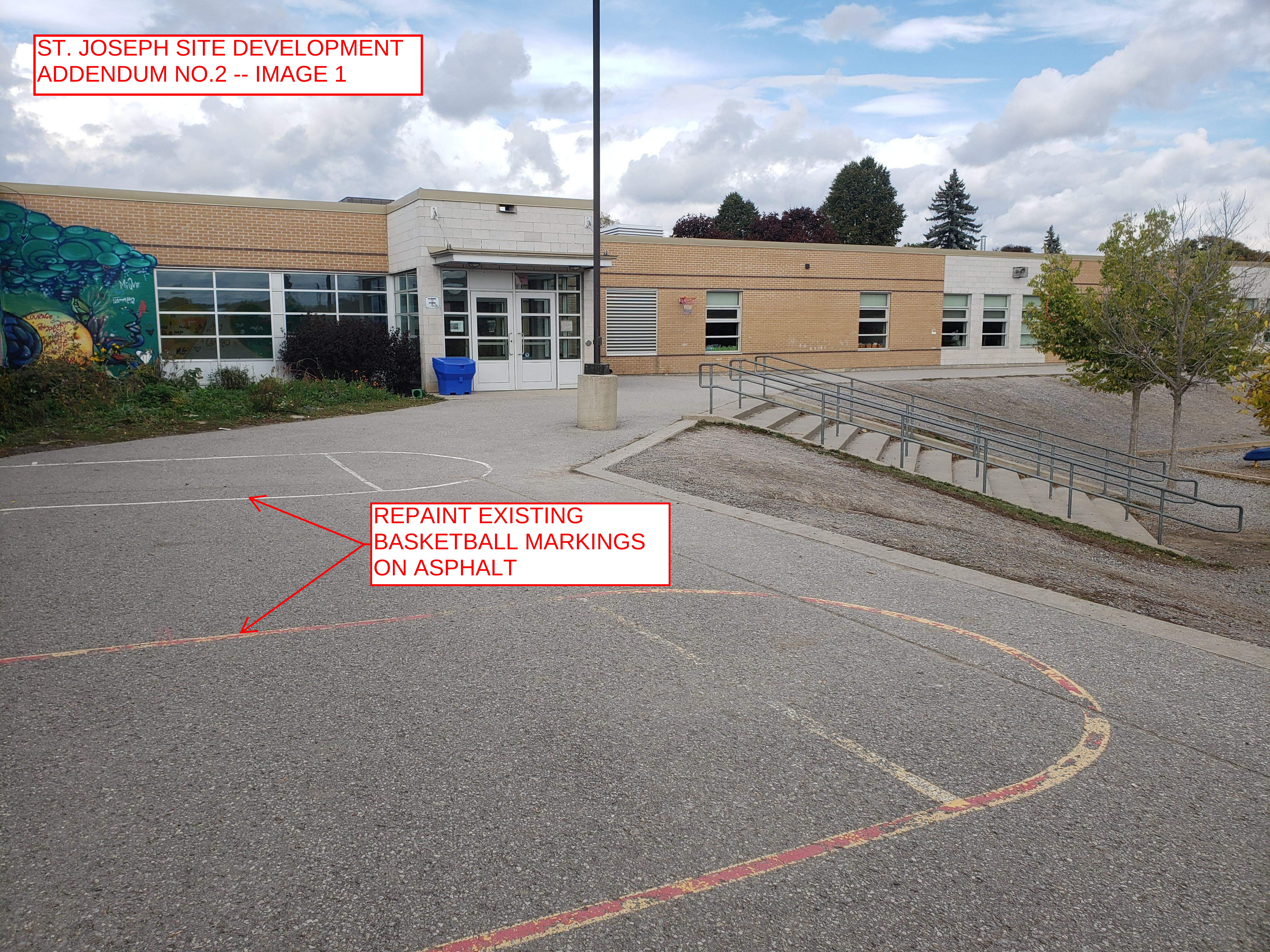
- **DRAWING A601 – SECTIONS**

- Section 2/A601 to indicate new 1.8m high chain link fence to replace existing chain link fence in the same location.

Add (2): Addendum No. 2 Prepared by Barry Bryan Associates (5 pages)

END OF ADDENDUM #2

ST. JOSEPH SITE DEVELOPMENT
ADDENDUM NO.2 -- IMAGE 1



REPAINT EXISTING
BASKETBALL MARKINGS
ON ASPHALT

ST. JOSEPH SITE DEVELOPMENT
ADDENDUM NO.2 -- IMAGE 2



CAREFULLY RELOCATE NORTH SLIDE AND
POST WITH LADDER TO EAST SIDE OF
PLAYGROUND STRUCTURE AND RE-POUR
FOUNDATION AS REQUIRED. REMOVE AND
DISPOSE OF EXISTING FOUNDATION
ASSOCIATED WITH SLIDE.

ST. JOSEPH SITE DEVELOPMENT
ADDENDUM NO.2 -- IMAGE 3

REMOVE CORKSCREW
COMPONENT ON MAIN
PLAYGROUND
STRUCTURE AND
RETURN TO OWNER.



ST. JOSEPH SITE DEVELOPMENT
ADDENDUM NO.2 -- IMAGE 4

REMOVE ALL OTHER
EXISTING AUXILIARY
PLAY EQUIPMENT AND
ASSOCIATED
FOUNDATIONS. RETURN
ALL EQUIPMENT TO
OWNER.



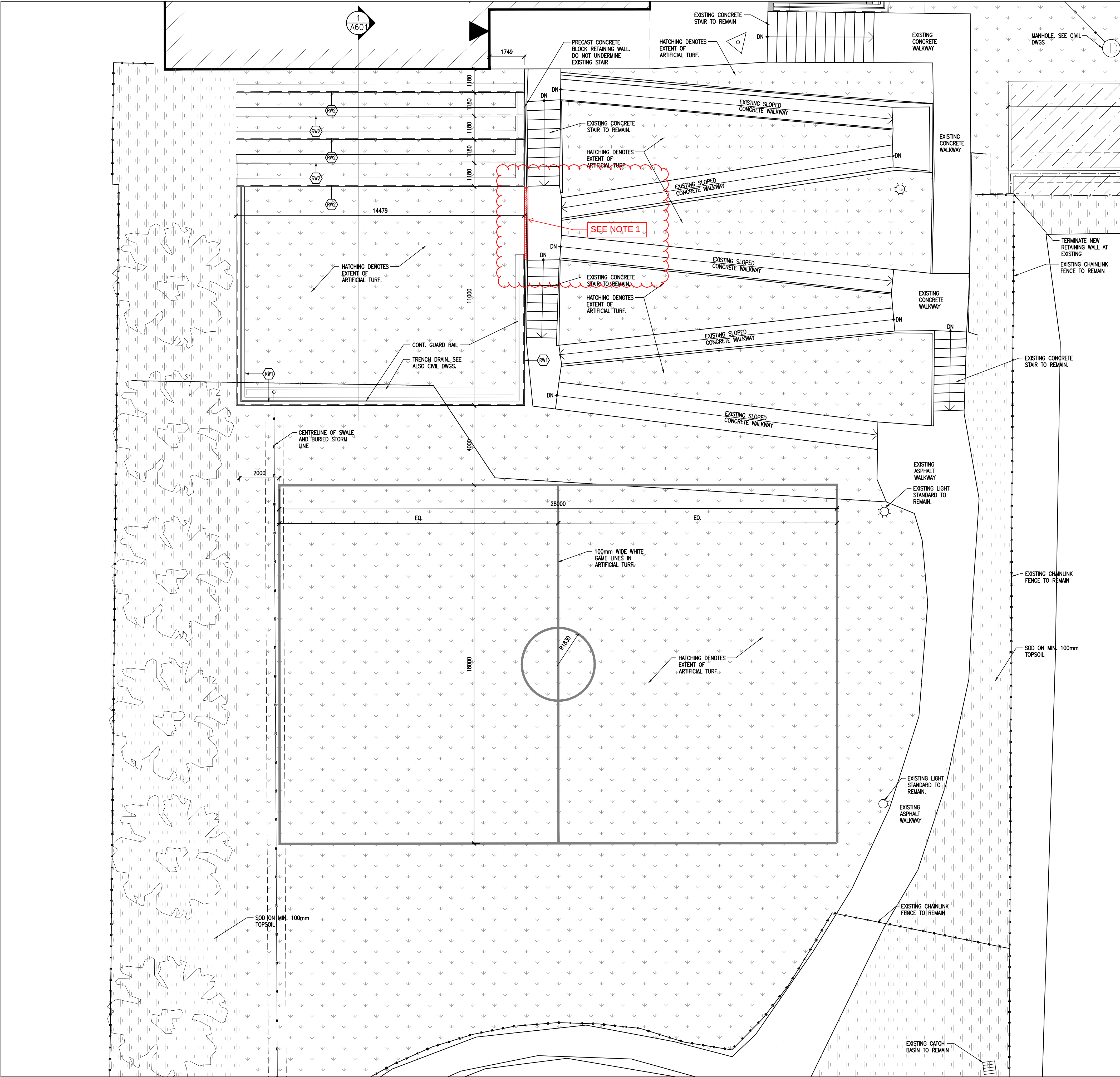
SITE PLAN LEGEND

- HATCHING DENOTES SYNTHETIC RUBBER PLAY SURFACING. SEE SPECIFICATION FOR COMPOSITION.
- HATCHING DENOTES NEW ASPHALT PAVING. REFER TO ASPHALT COMPOSITION DETAIL AND SPECIFICATION.
- HATCHING DENOTES NEW ARTIFICIAL TURF SURFACING. SEE SPECIFICATION FOR COMPOSITION. ARTIFICIAL TURF SHALL TERMINATE AT DRIP LINE OF EXISTING TREES.
- HATCHING DENOTES NEW MULCH.
- HATCHING DENOTES NEW WOOD CHIP SURFACING. SEE SPECIFICATION FOR COMPOSITION.
- HATCHING DENOTES NEW SOD ON MIN. 100mm TOPSOIL.
- NEW STORM DRAIN PIPE. SEE CIVIL DWGS.

RETAINING WALL LEGEND

- RW1 NEW RETAINING WALL BY BRAMPTON BRICK. SEE SPECIFICATIONS
- RW2 NEW EXTERIOR STEPS BY BRAMPTON BRICK. SEE SPECIFICATIONS
- RW3 NEW CONCRETE RETAINING WALL. SEE STRUCTURAL DRAWINGS

NOTE 1:
TOP OF EXISTING CURB PORTION TO BE CUT DOWN TO PROVIDE LEVEL SURFACE BETWEEN MIDDLE STAIR LANDING AND ADJACENT ARTIFICIAL TURF AREA. EXISTING CURB HEIGHT ABOVE GRADE VARIES; APPROX 10" AT HIGHEST POINT (SITE VERIFY). CURB TO BE CUT DOWN APPROX. 3" BELOW FINAL GRADE LEVEL AND THEN PATCHED WITH A SUITABLE CONCRETE REPAIR PRODUCT TO ENSURE MIN 2" COVER ABOVE EXISTING REBAR IN WALL. TOP OF PATCHED PORTION TO BE FLUSH WITH TOP OF MID STAIR LANDING.



1 PART SITE PLAN
A104 1:100

DO NOT SCALE THE DRAWINGS.
CHECK AND VERIFY ALL DIMENSIONS AT THE SITE.

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NO.	ISSUES/ REVISIONS	DATE	BY
1	60% DESIGN SUBMISSION	MAR. 13, 2026	BBA
2	ISSUED FOR CLIENT REVIEW	MAR. 24, 2026	BBA
3	ISSUED FOR PERMIT & TENDER	MAR. 31, 2026	BBA
4	ISSUED FOR ADDENDUM #2	APR 20, 2026	BBA

BBA
BARRY BRYAN ASSOCIATES

PROJECT:
ST JOSEPH BOWMANVILLE
SITE DEVELOPMENT

90 PARKWAY CRES.
BOWMANVILLE, ON
PVNDCDSB

DRAWING:
PART SITE PLAN

DESIGN BY: BBA	SEAL:
DRAWN BY: BBA	2026-03-31 OF ARCHITECTS
CHECKED BY:	CASANDRA ERIN CAUTUS LICENCE 8891
DATE: MAR. 2026	
SCALE: 1:100	
PROJECT NO:	DRAWING NO:

25196 A103