

UPPER GYM REMEDIAL WORK TRINITY COLLEGE SCHOOL

55 DEBLAQUIRE STREET N
PORT HOPE, ONTARIO

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NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR TENDER	MAY 28, 2026	BBA

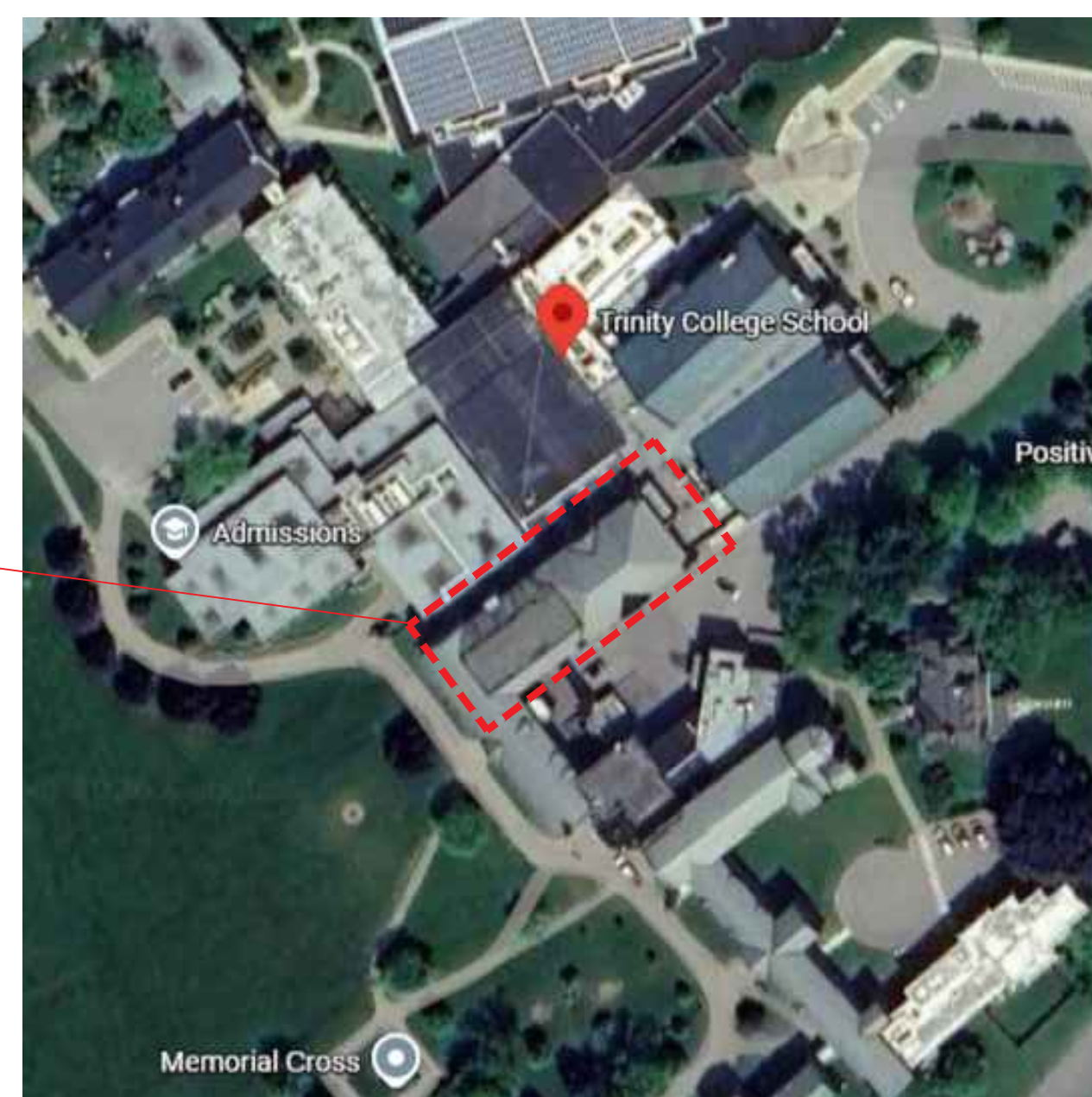
LIST OF DRAWINGS

ARCHITECTURAL

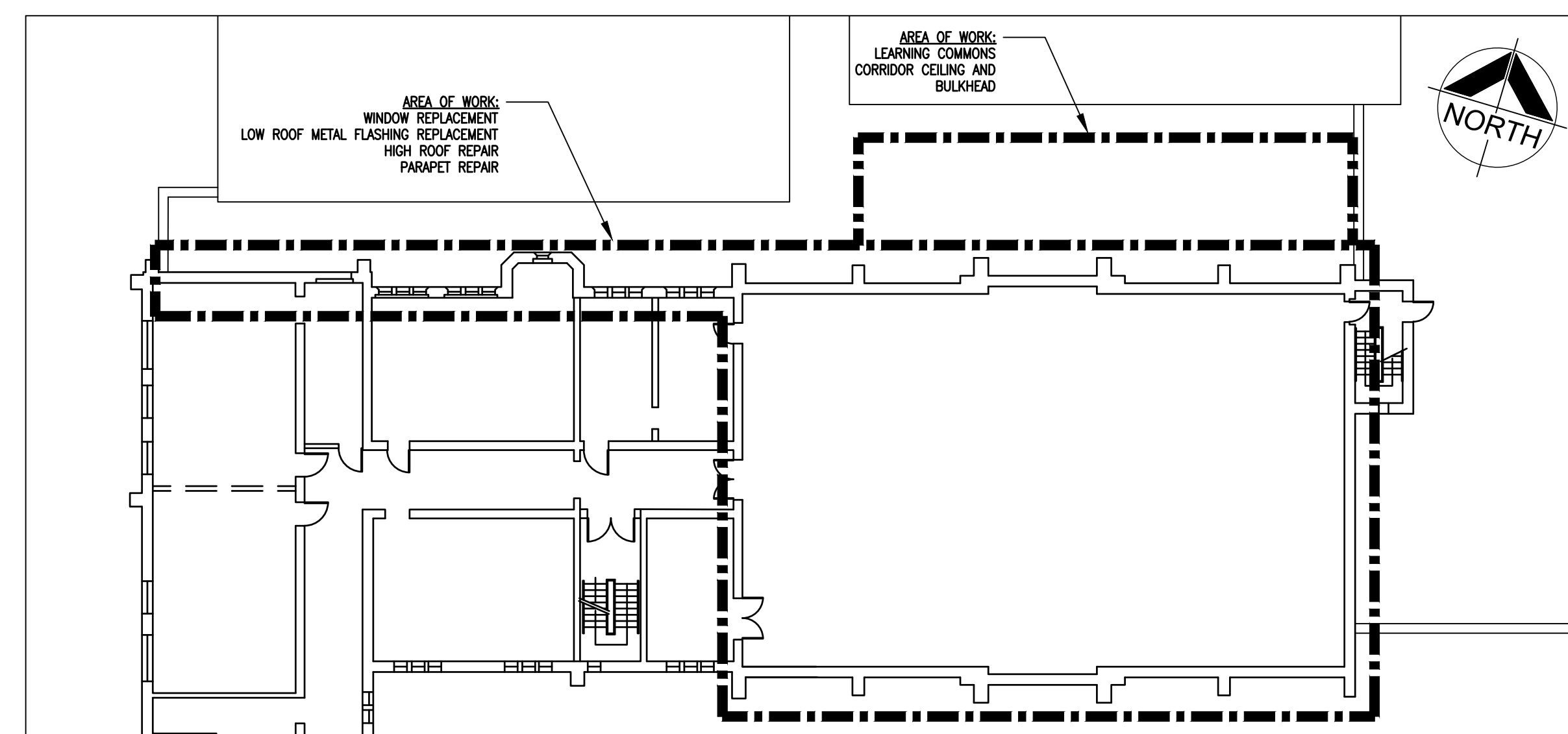
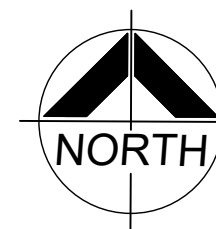
- A001 LIST OF DRAWINGS, LOCATION PLAN, & KEY PLAN
- A101 GENERAL NOTES
- A201 PART FIRST FLOOR PLANS & ROOF PLAN
- A202 LEARNING COMMONS CORRIDOR RCP
- A203 UPPER GYM ROOF PLAN AND DETAILS
- A301 WINDOW REPLACEMENT ELEVATIONS
- A601 W1 WINDOW DETAIL
- A602 W2 WINDOW DETAIL
- A603 WINDOW DETAILS
- A604 PARAPET REPAIR DETAIL
- A901 WINDOW & ROOM SCHEDULES

STRUCTURAL

- S101 GENERAL NOTES & KEY PLAN
- S201 UPPER GYM PART RCP
- S301 BRICK REPAIR NOTES
- S302 BRICK REPAIR NOTES
- S501 ROOF DECK REPAIR DETAILS



2
A001 LOCATION PLAN
NTS



1
A001 KEY PLAN
1:200



PROJECT:

TRINITY COLLEGE SCHOOL
UPPER GYM REMEDIAL WORK

55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

DRAWING:

LIST OF DRAWINGS,
LOCATION PLAN, & KEY
PLAN

DESIGN BY: BBA
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED

PROJECT NO: DRAWING NO:

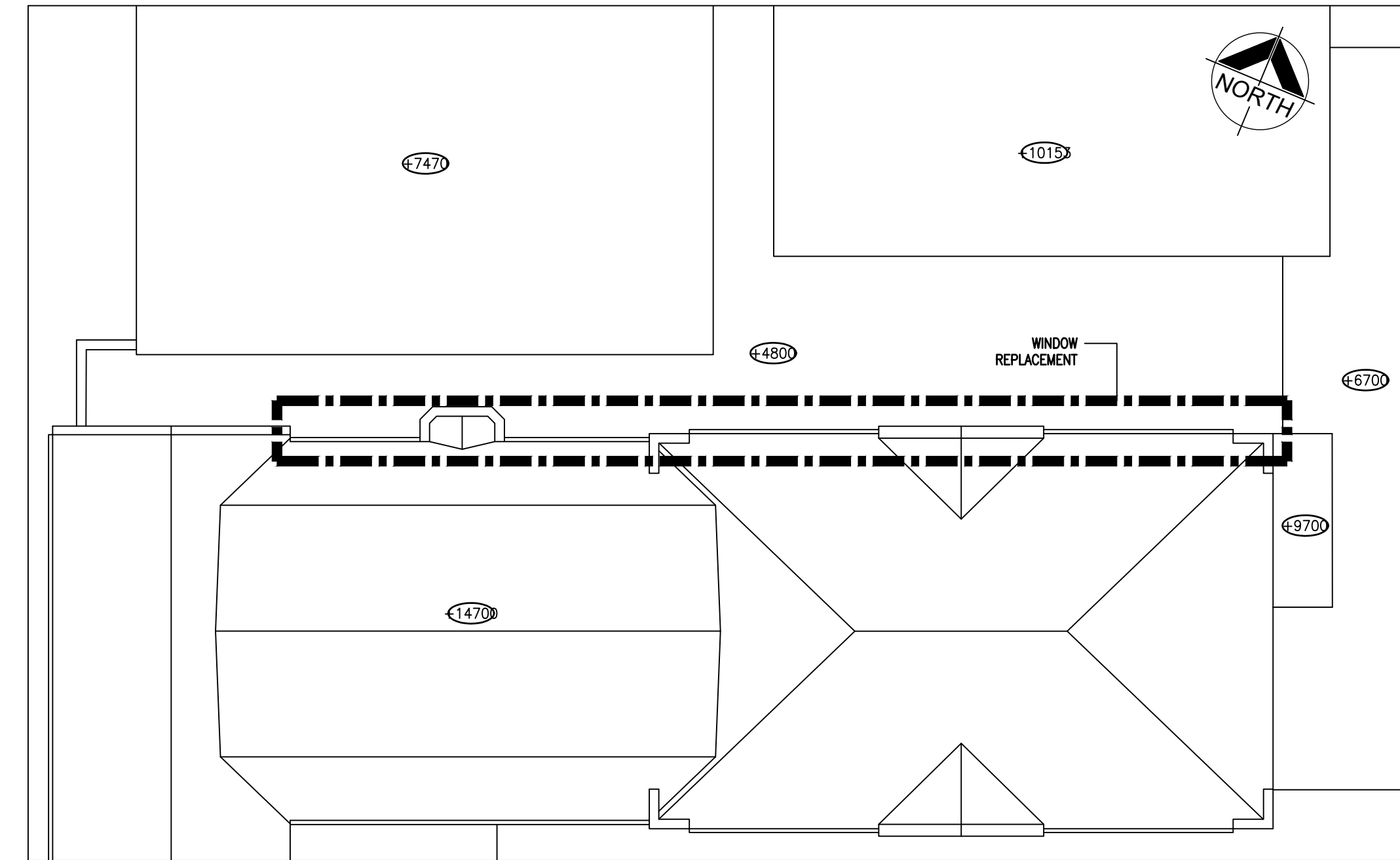
26035 **A001**



5 EX. CONDITION PHOTO 02
A201



4 EX. CONDITION PHOTO 01
A201



3 KEY PLAN
A201 1:200

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DEMOLITION NOTES

- 1 REMOVE EXISTING WINDOWS IN THEIR ENTIRETY AND AS REQUIRED TO COMPLETE NEW WORK.
- 2 REMOVE EXISTING BLOCKING AROUND JAMBS AND SILLS. PATCH, REPAIR AND MAKE GOOD FOR INSTALLATION OF NEW SILLS.
- 3 REMOVE EXISTING WINDOW JAMBS, PATCH AND REPAIR BRICK MASONRY AND MAKE GOOD FOR INSTALLATION OF NEW JAMBS.
- 4 PATCH AND MAKE GOOD WINDOW HEADER FOR INSTALLATION OF NEW WINDOW.
- 5 REMOVE EXISTING METAL FLASHING. INSTALL NEW FLASHING 203mm UP WALL AFTER NEW ROOFING ASSEMBLY SECTION HAS BEEN INSTALLED.
- 6 RAW LINTEL PREPARE TO BASE METAL FOR NEW PAINT COAT

TYPICAL DEMOLITION NOTES

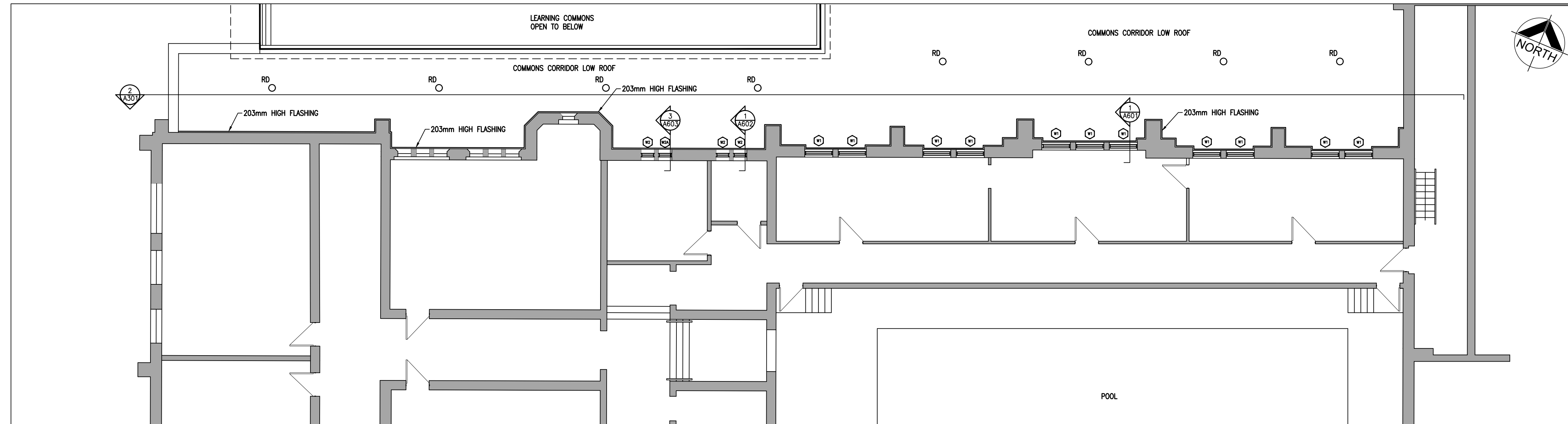
- 1. SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
- 2. ALL WORK TO BE IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
- 3. COMPLY WITH THE OCCUPATIONAL HEALTH AND SAFETY ACT REGULATIONS FOR CONSTRUCTION PROJECTS.
- 4. PROVIDE PROTECTION IN LOCATIONS APPROVED BY THE OWNER AND CONSULTANT SO AS NOT TO DAMAGE EXISTING STRUCTURE, LANDSCAPE OR PART THEREOF.
- 5. COMPLETE ALL DEMOLITION WORK NECESSARY TO COMPLETE THE RENOVATIONS AS SHOWN AND AS REQUIRED. DEMOLITION OF BUILDING ELEMENTS INCLUDES BUT NOT LIMITED TO COMPLETE REMOVAL OF ALL ASSOCIATED FIXTURES, FITTINGS, HARDWARE, FASTENERS, EQUIPMENT AND ACCESSORIES UNLESS NOTED OTHERWISE.
- 6. PROVIDE ALL SHORING AS REQUIRED. SHORING SHALL BE DESIGNED BY A REGISTERED PROFESSIONAL ENGINEER.
- 7. MAINTAIN ALL WORK AREAS AND ALL STORAGE AREAS CLEAN AND ORDERLY AT ALL TIMES INCLUDING EXISTING AREAS THAT REMAIN IN OPERATION DURING CONSTRUCTION. DUST CONTROL MEASURES ARE TO BE IN PLACE AT ALL TIMES AND NOISY WORK SHALL BE COORDINATED AROUND PROGRAM EVENTS.
- 8. DISCONNECT AND CAP OFF ALL REQUIRED SERVICES PRIOR TO DEMOLITION.
- 9. DISPOSE MATERIALS OFF SITE.
- 10. DEMOLITION INCLUDES ALL ASSOCIATED MECHANICAL AND ELECTRICAL SERVICES, EQUIPMENT, FITTINGS, FIXTURES, HANGERS, BRACKETS, TRIM AND ACCESSORIES AS REQUIRED TO COMPLETE THE WORK.
- 11. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE EXISTING STRUCTURE OR FINISHES SHOWN TO REMAIN AND REPAIR /REPLACE SAME TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- 12. BUILDING TO BE SECURED BY THE GENERAL CONTRACTOR AT ALL TIMES.
- 13. PREPARE ALL AFFECTED WALLS AND CEILINGS FOR NEW PAINT FINISH AND PAINT TO MATCH EXISTING (TYPICAL).
- 14. REVIEW DSR ALL AFFECTED AREAS TO CONFIRM ABATEMENT PROTOCOLS ASSOCIATED WITH DEMOLITION. REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT

DEMOLITION LEGEND

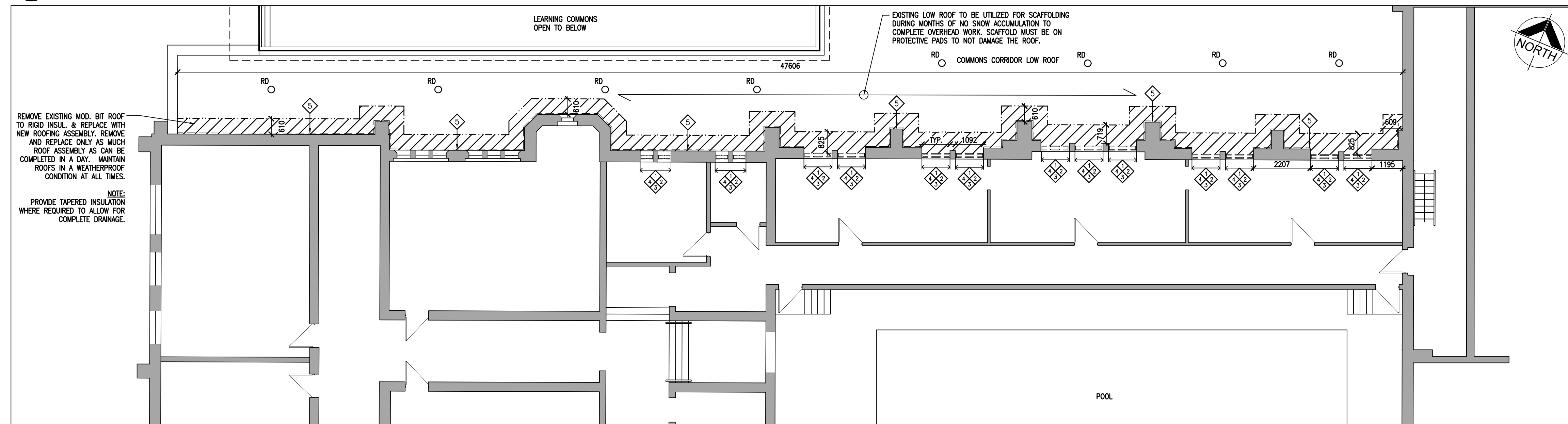
- EXISTING WALL, PARTITION OR COLUMN
- DENOTES DEMOLITION OF BUILDING ELEMENT
- DENOTES REMOVAL OF MOD. BIT ROOF TO ACCOMMODATE NEW WINDOW
- EXISTING DOOR, FRAME AND TRIM TO REMAIN

NOTATION LEGEND

- RD ROOF DRAIN



2 PART FIRST FLOOR PLAN
A201 1:100



1 PART FIRST FLOOR DEMOLITION PLAN
A201 1:100



PROJECT:
TRINITY COLLEGE SCHOOL
UPPER GYM REMEDIAL WORK
55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

DRAWING:
PART FIRST FLOOR
PLANS & ROOF PLAN

DESIGN BY: BBA SEAL:
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED
PROJECT NO: DRAWING NO:

26035 A201

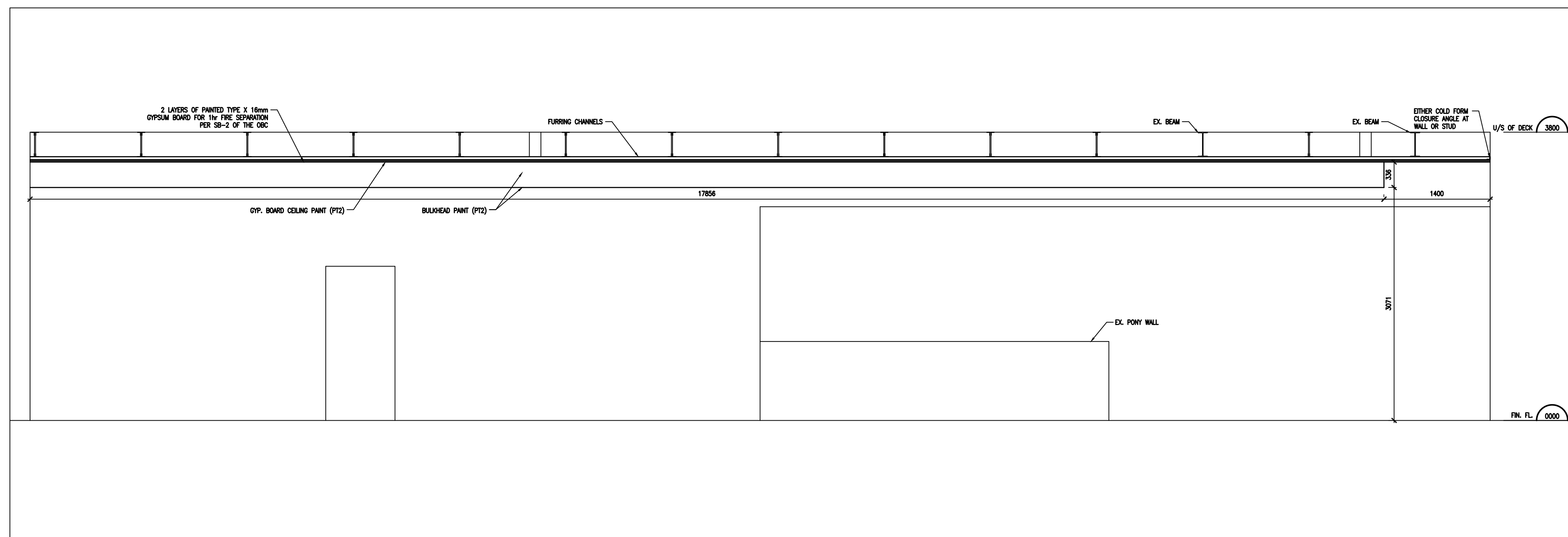
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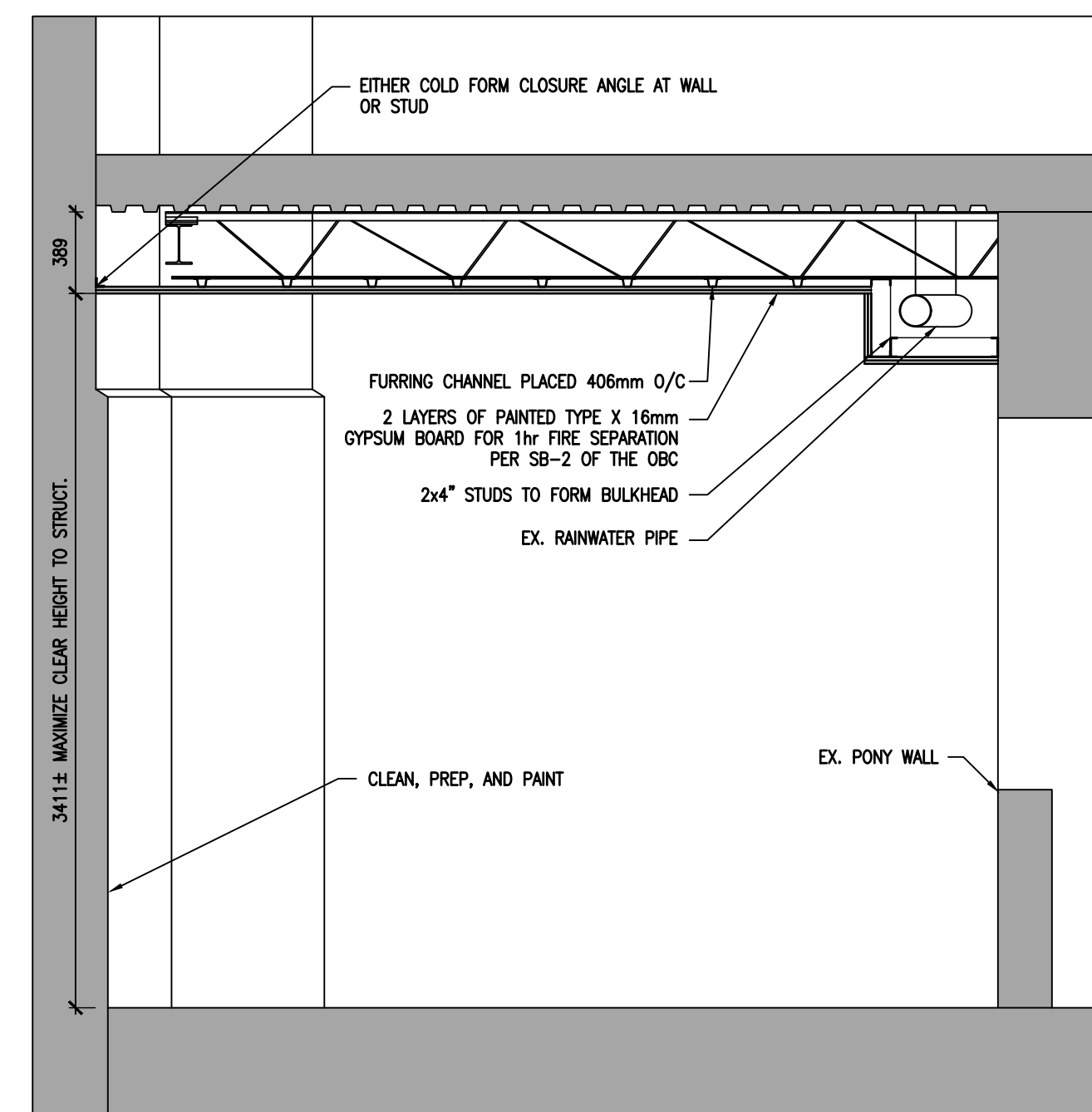
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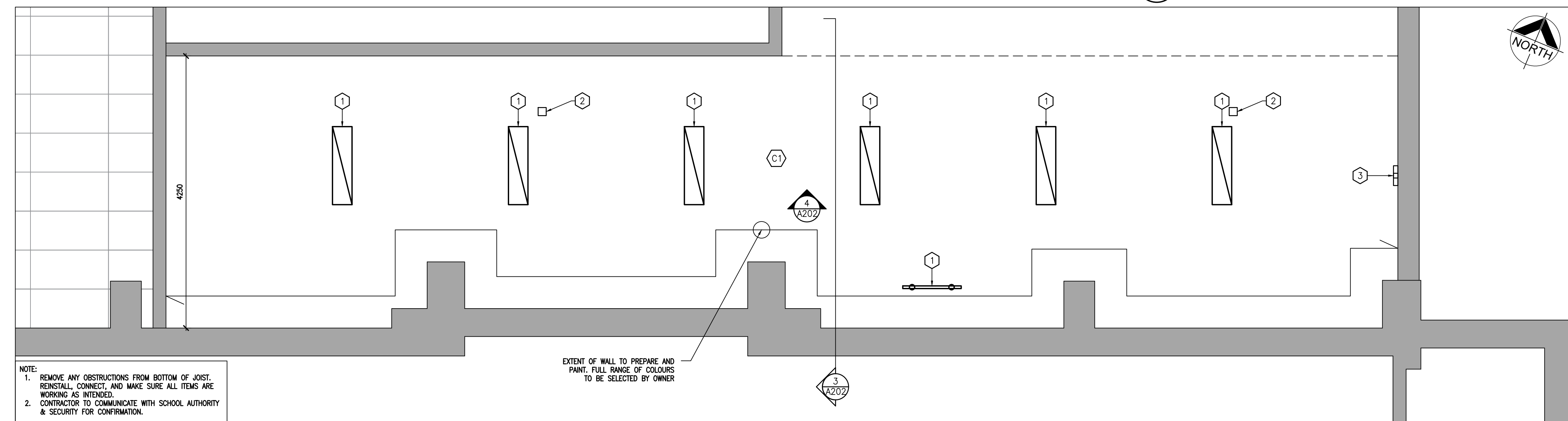


4
A202 CORRIDOR ELEVATION
1:30

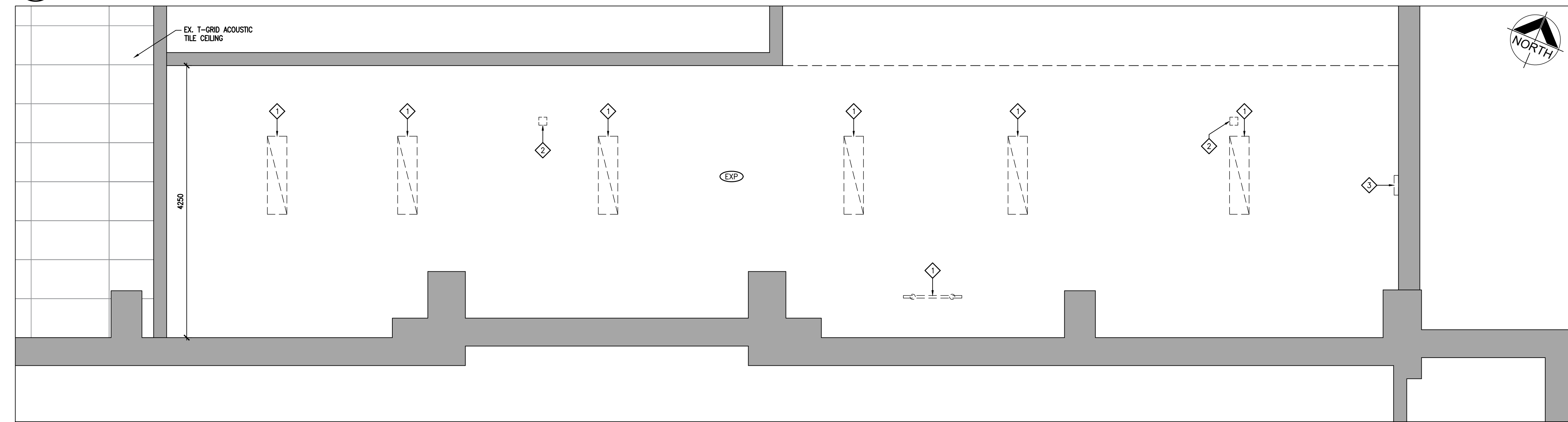


3
A202 CORRIDOR SECTION
1:30

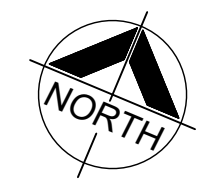
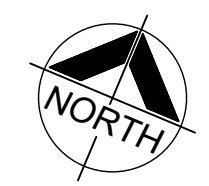
- CEILING TYPE**
 (C1) 2 LAYERS OF PAINTED TYPE X 16mm GYPSUM BOARD ON FURRING CHANNELS PLACED 16" O/C ON EX. OWSJ
- PLAN NOTES**
- REINSTALL EXISTING LIGHT FIXTURES.
 - REINSTALL EXISTING FIRE ALARMS.
 - REINSTALL EXISTING FIRE ESCAPE SIGN ABOVE DOOR IF NEEDED.
- DEMOLITION NOTES**
- REMOVE EXISTING LIGHT FIXTURES.
 - REMOVE EXISTING FIRE ALARMS.
 - REMOVE EXISTING FIRE ESCAPE SIGN IF NEEDED.
- TYPICAL DEMOLITION NOTES**
- SITE VERIFY ALL DIMENSIONS AND CONDITIONS.
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 - BUILDING TO BE SECURED BY THE GENERAL CONTRACTOR AT ALL TIMES.
 - PREPARE ALL AFFECTED WALLS AND CEILINGS FOR NEW PAINT FINISH AND PAINT TO MATCH EXISTING (TYPICAL).
 - REVIEW DSR ALL AFFECTED AREAS TO CONFIRM ABATEMENT PROTOCOLS ASSOCIATED WITH DEMOLITION. REFER TO HAZARDOUS BUILDING MATERIALS ASSESSMENT.
- DEMOLITION LEGEND**
- EXISTING WALL, PARTITION OR COLUMN
 - DEMOTES DEMOLITION OF BUILDING ELEMENT
- NOTATION LEGEND**
- EXP EXPOSED CEILING STRUCTURE



2
A202 CORRIDOR REFLECTED CEILING PLAN
1:40



1
A202 CORRIDOR DEMOLITION REFLECTED CEILING PLAN
1:40



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UPPER GYM REMEDIAL WORK

55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

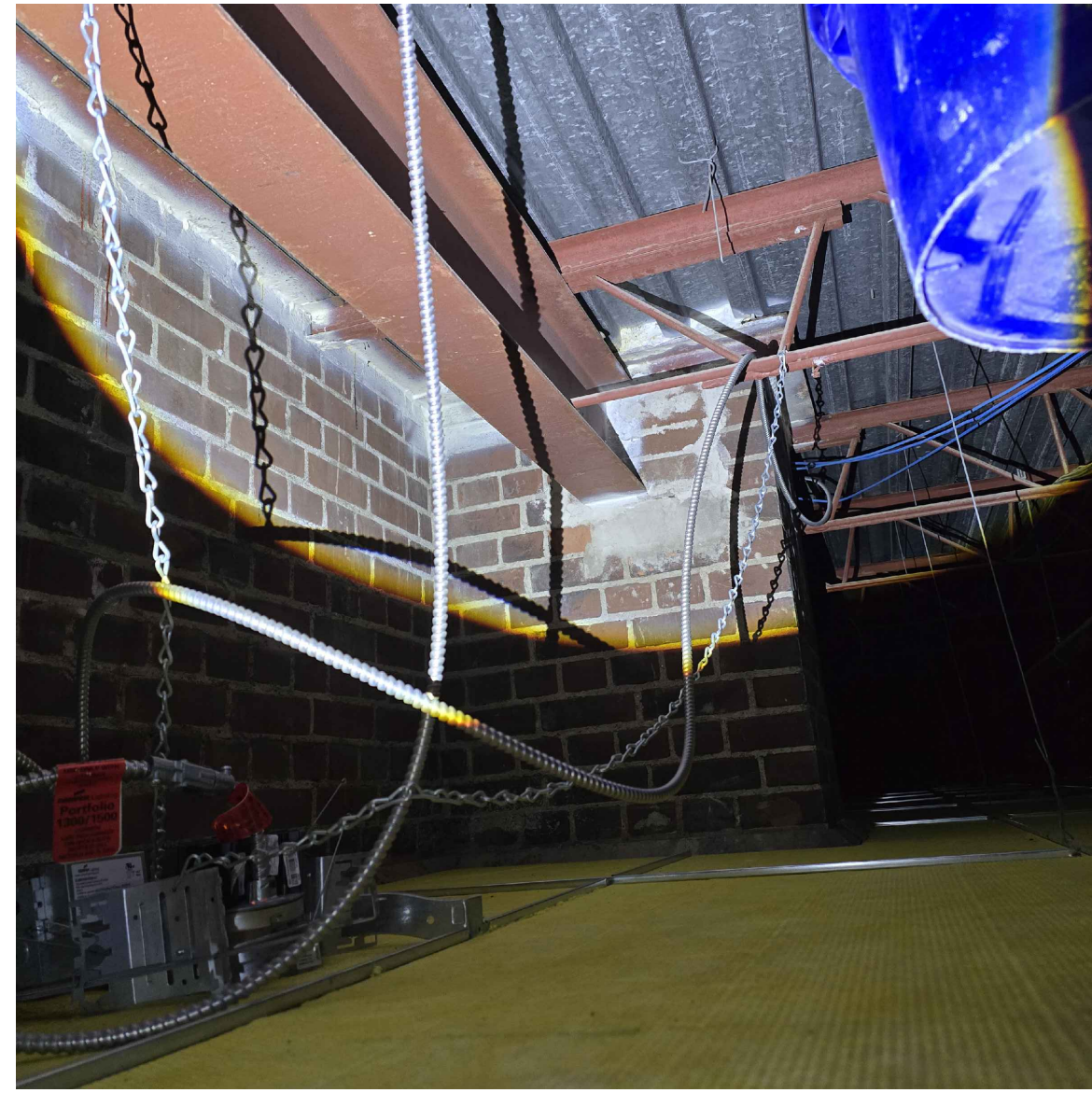
DRAWING:
LEARNING COMMONS
CORRIDOR RCP

DESIGN BY: BBA SEAL:
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED

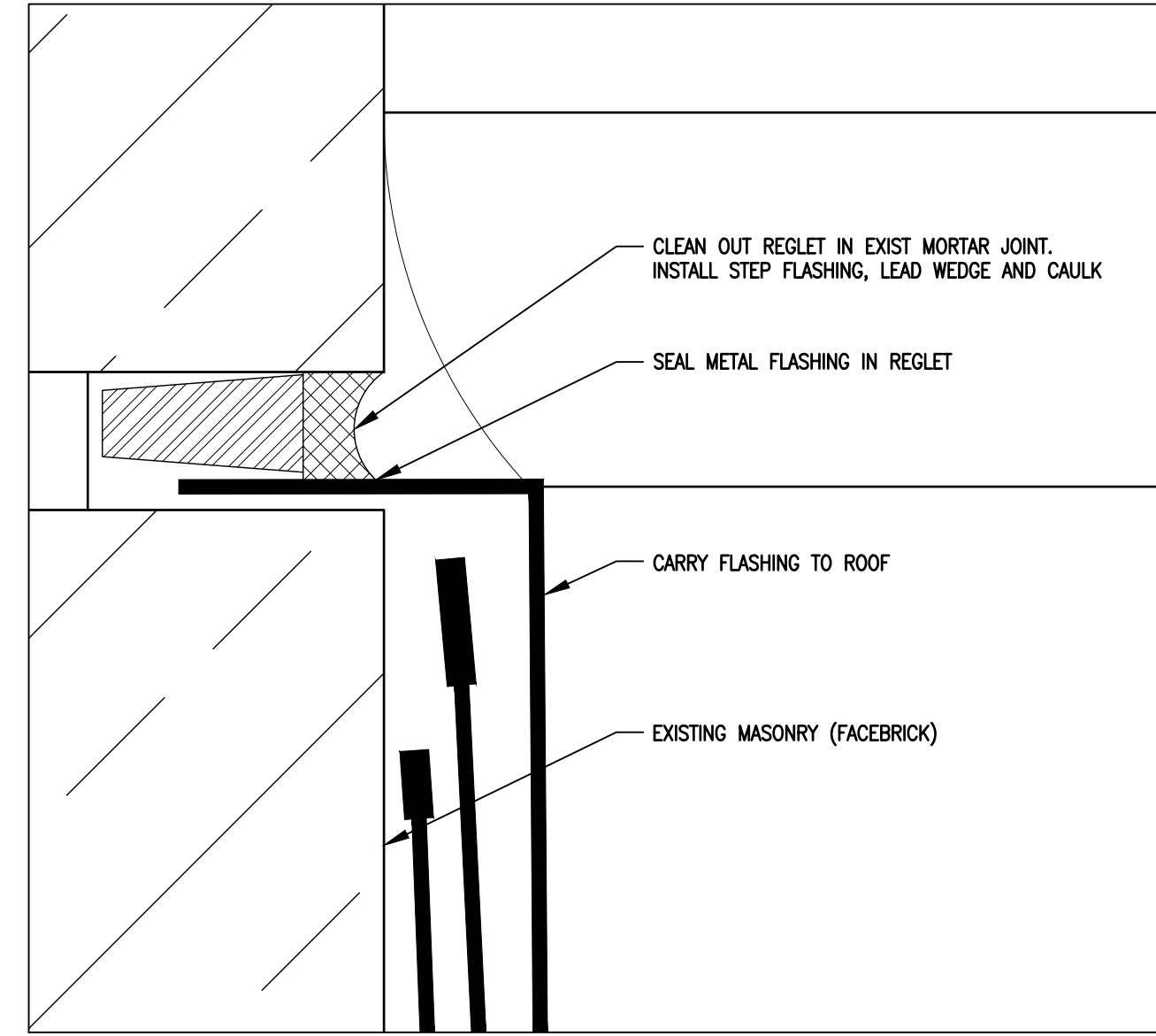
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5 EX. CONDITION PHOTO 02
A601



4 EX. CONDITION PHOTO 01
A601

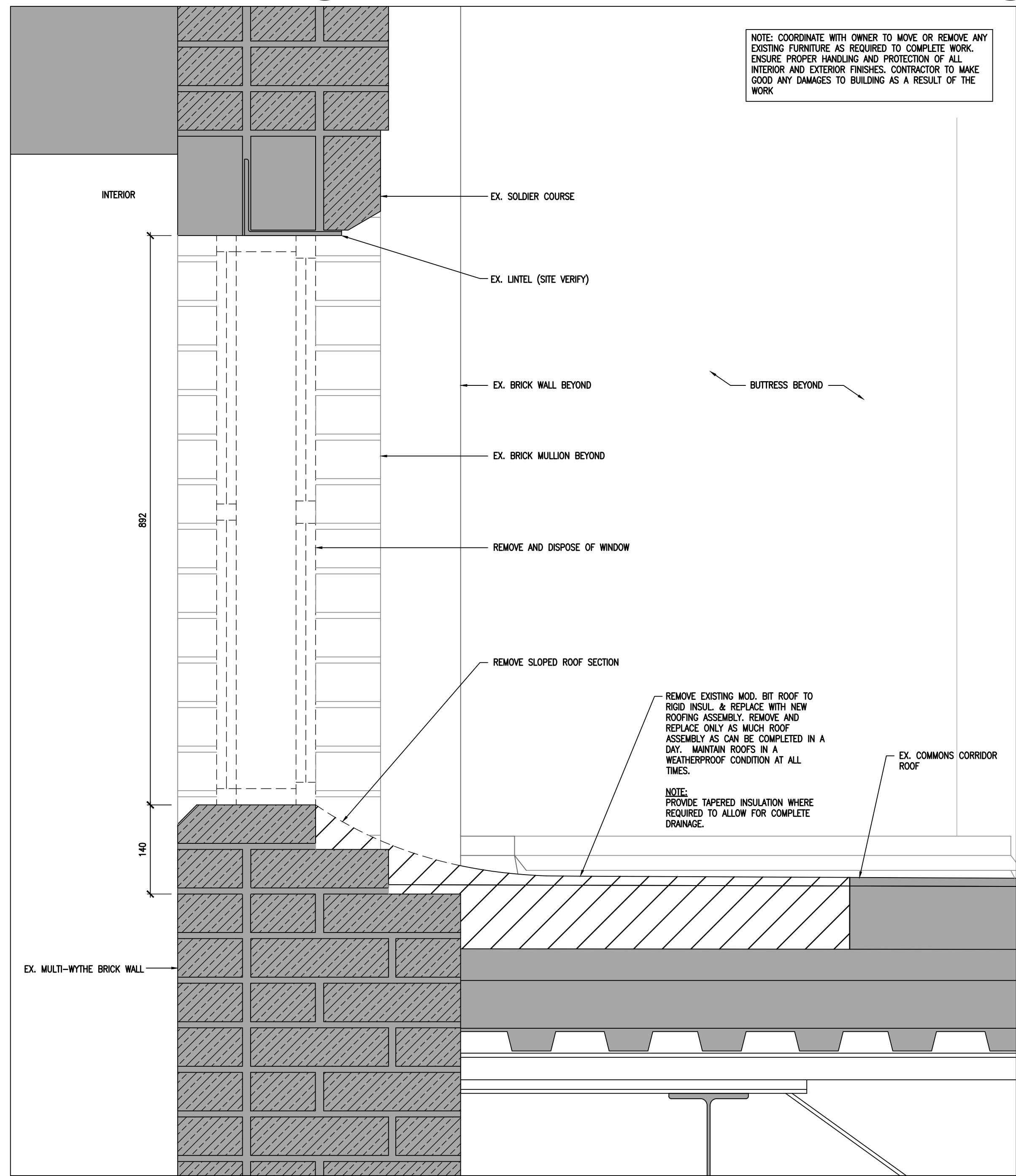


3 MORTAR JOINT DETAIL
A601 N.T.S.

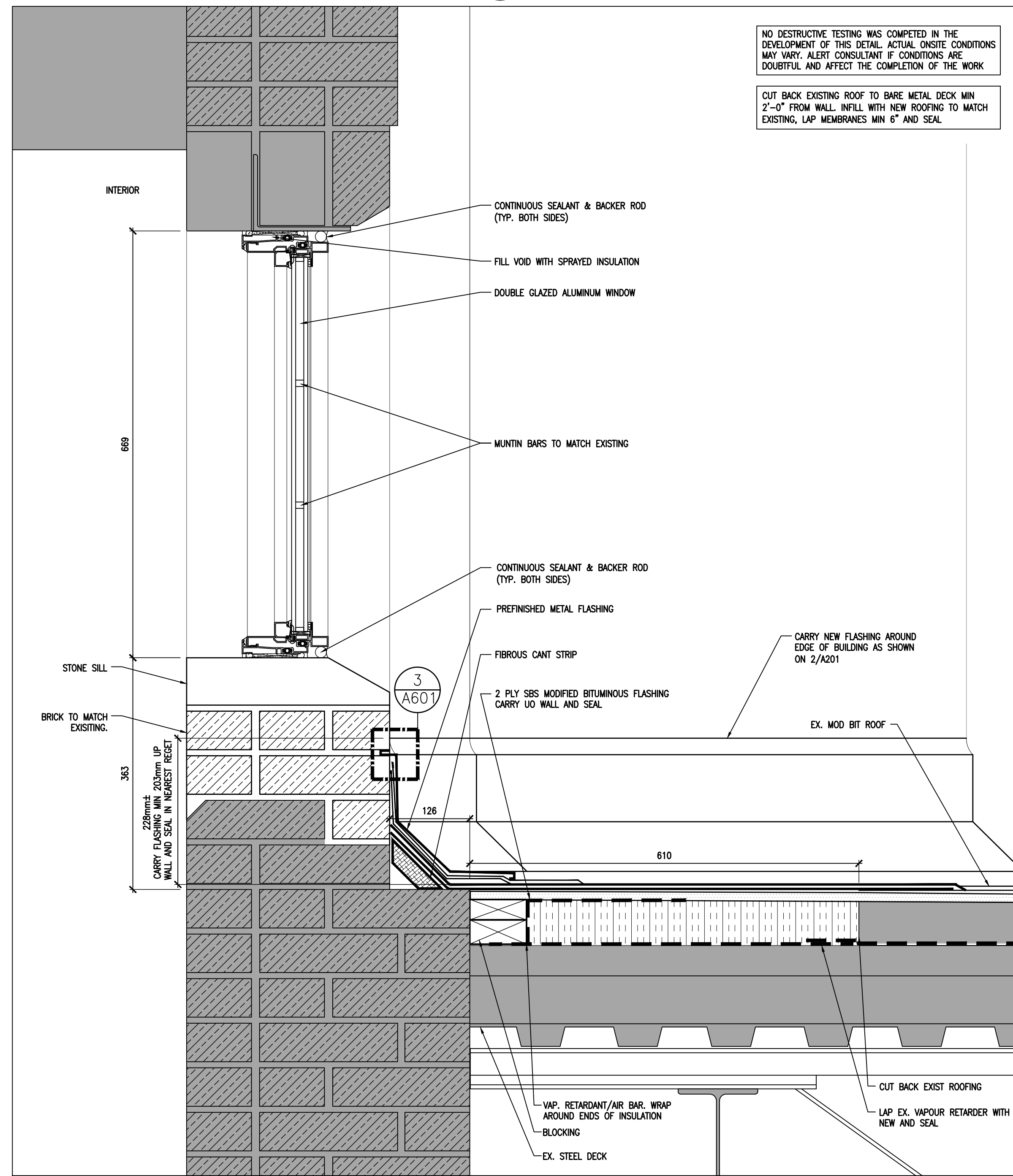
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2 W1 WINDOW DEMOLITION DETAIL
A601 1:5



1 W1 WINDOW DETAIL
A601 1:5



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TRINITY COLLEGE SCHOOL
UPPER GYM REMEDIAL WORK
55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

DRAWING:
W1 WINDOW DETAIL

DESIGN BY: BBA SEAL:
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED

PROJECT NO: DRAWING NO:
26035 A601

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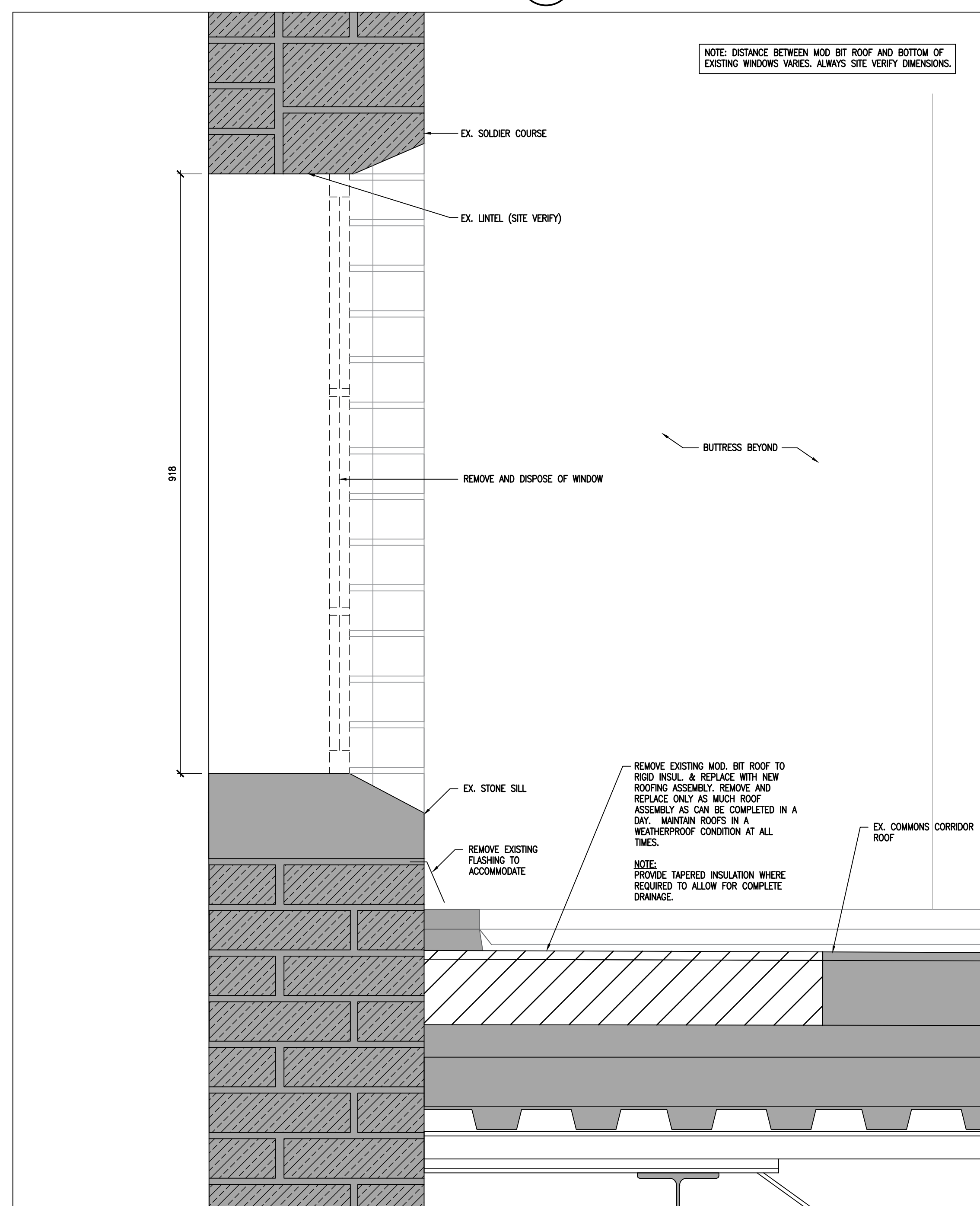
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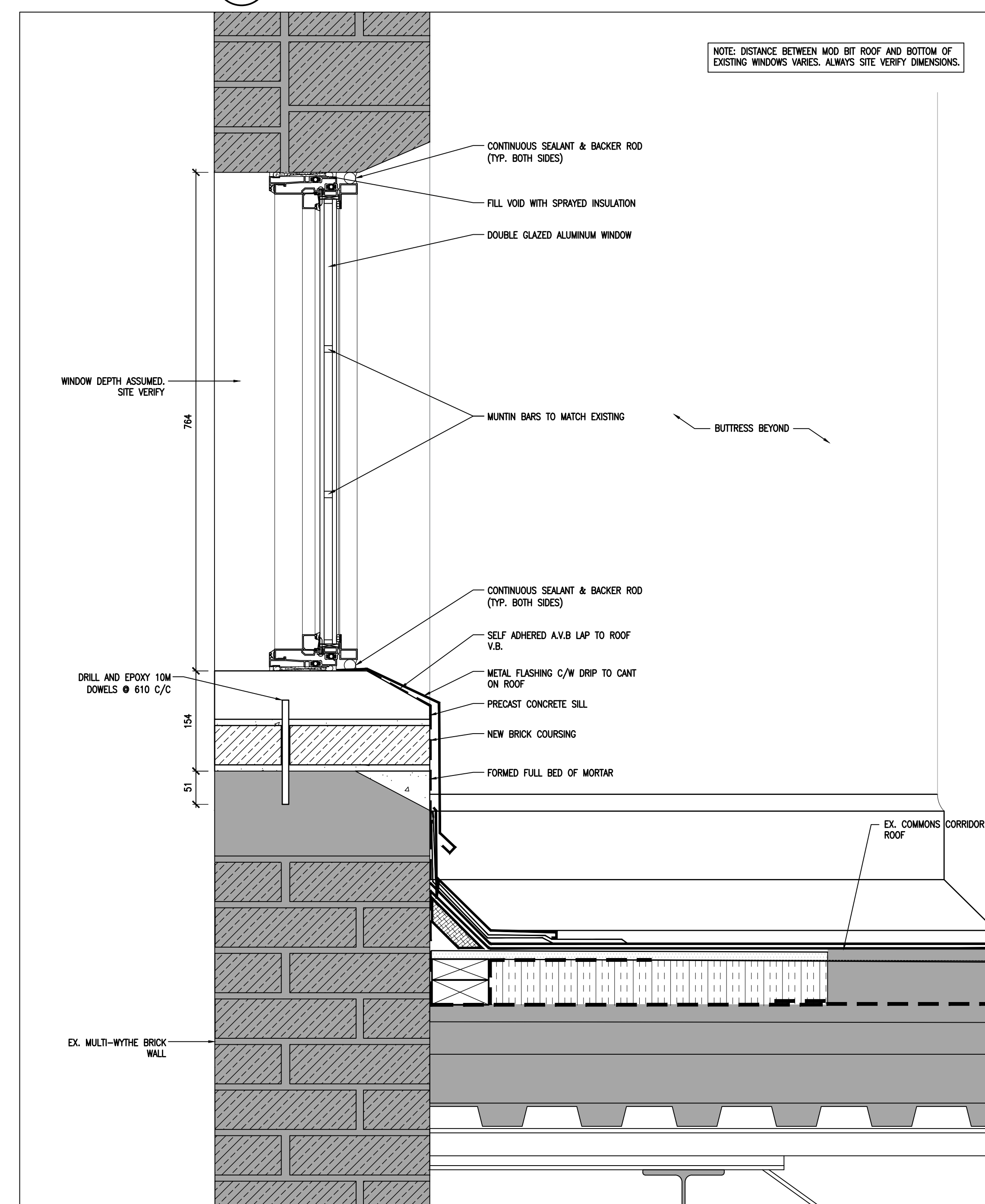
4 EX. CONDITION PHOTO 02
A602



3 EX. CONDITION PHOTO 01
A602



2 W2 WINDOW DEMOLITION DETAIL
A602 1:5



1 W2 WINDOW DETAIL
A602 1:5



PROJECT:
TRINITY COLLEGE SCHOOL
UPPER GYM REMEDIAL WORK
55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

DRAWING:
W2 WINDOW DETAIL

DESIGN BY: BBA SEAL:
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED

PROJECT NO: DRAWING NO:
26035 A602

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ABBREVIATION LEGEND

EX	EXISTING
P	PAINT
GB	GYPSUM BOARD
GL	GLASS
BR	BRICK
CB	CONCRETE BLOCK
PCS	PRECAST CONCRETE SLAB
EXP	EXPOSED CEILING STRUCTURE

ROOM SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING	CEILING HEIGHT	REMARKS	
				NORTH	EAST	SOUTH	WEST				
	UPPER GYM	MAT.	EX.	EX.	EX. BR	EX. BR	EX. BR	EX. BR	PCS	12800	-
		FIN.	EX.	EX.	P1	P1	P1	P1	-	-	-
		COL.									
	LEARNING COMMONS CORRIDOR	MAT.	EX.	EX.	EX. CB	EX. CB	EX. BR	EX. CB	GB	3411	-
		FIN.	EX.	EX.	-	-	-	-	P2	-	-
		COL.									



PROJECT:
TRINITY COLLEGE SCHOOL
UPPER GYM REMEDIAL WORK

55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

DRAWING:
WINDOW & ROOM SCHEDULES

DESIGN BY: BBA
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED

PROJECT NO: 26035
DRAWING NO: A901

MUNTIN BARS AND FLANGE TO BE COATED #40 DARK BRONZE BY KAMNEER

SITE VERIFY ALL OPENING SIZES PRIOR TO WINDOW FABRICATION.

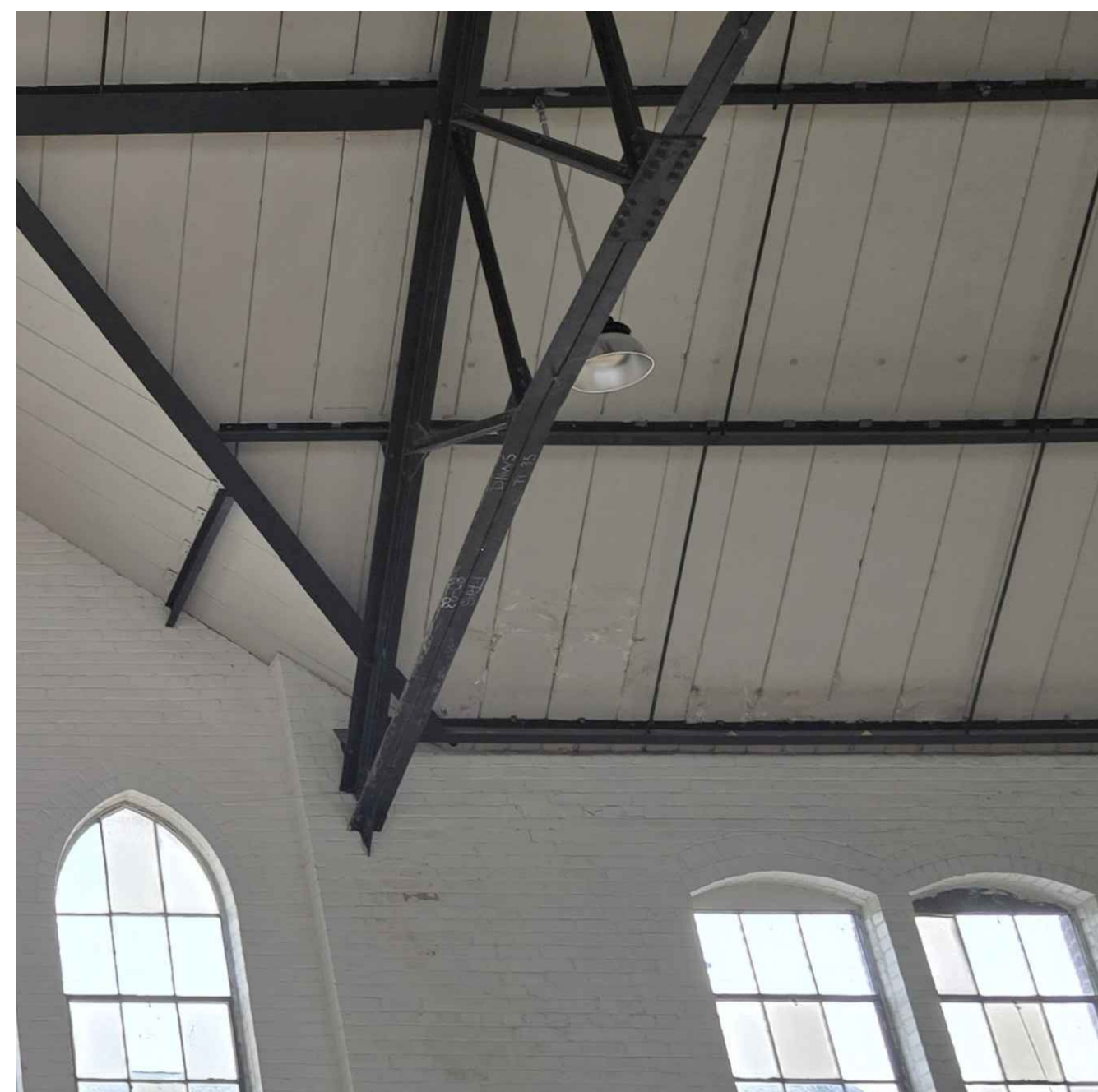
1 WINDOW SCHEDULE
A901 1:20

GLAZING LEGEND
GL1 25mm SEALED TEMPERED, DOUBLE GLAZED UNITS

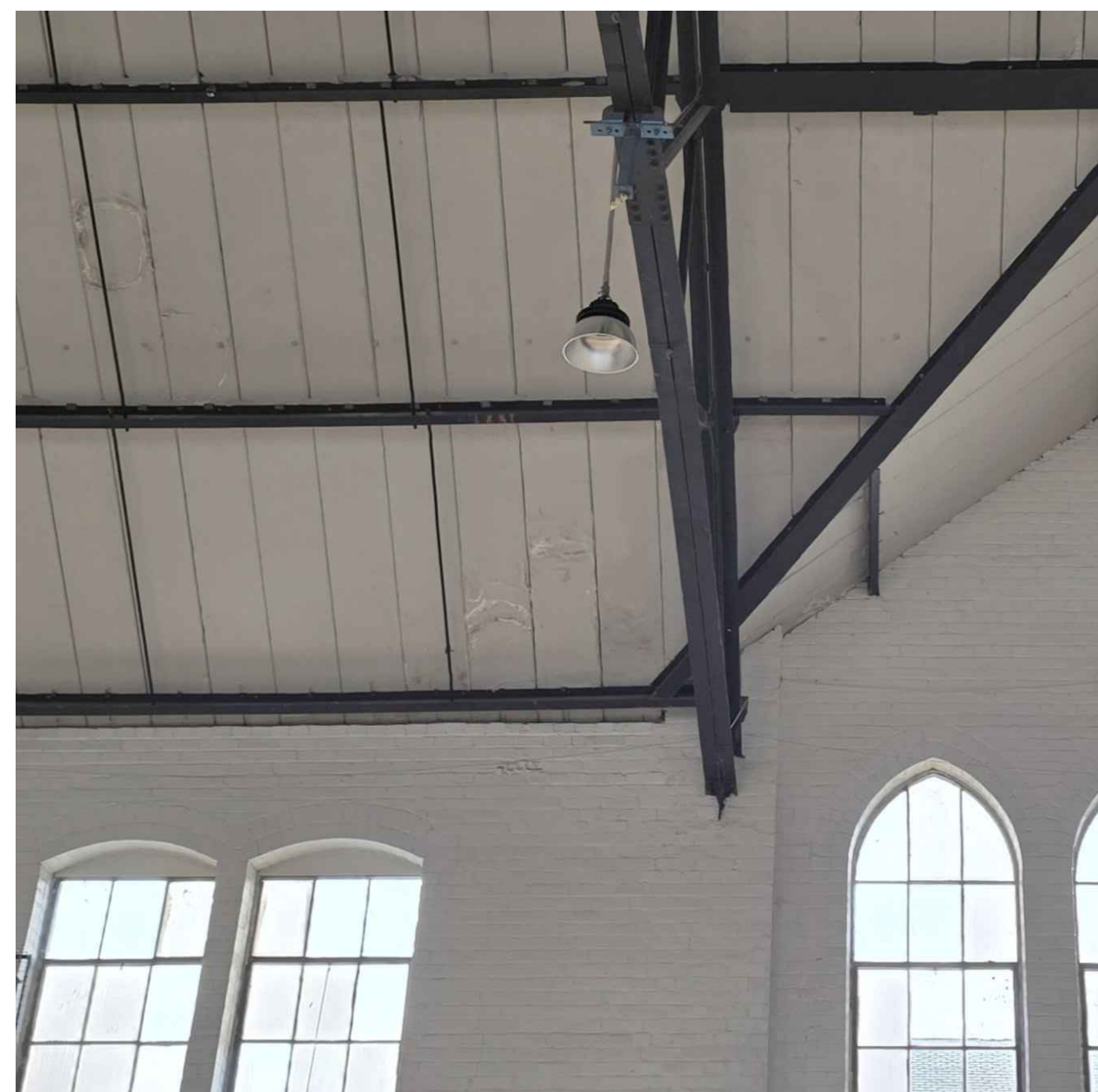
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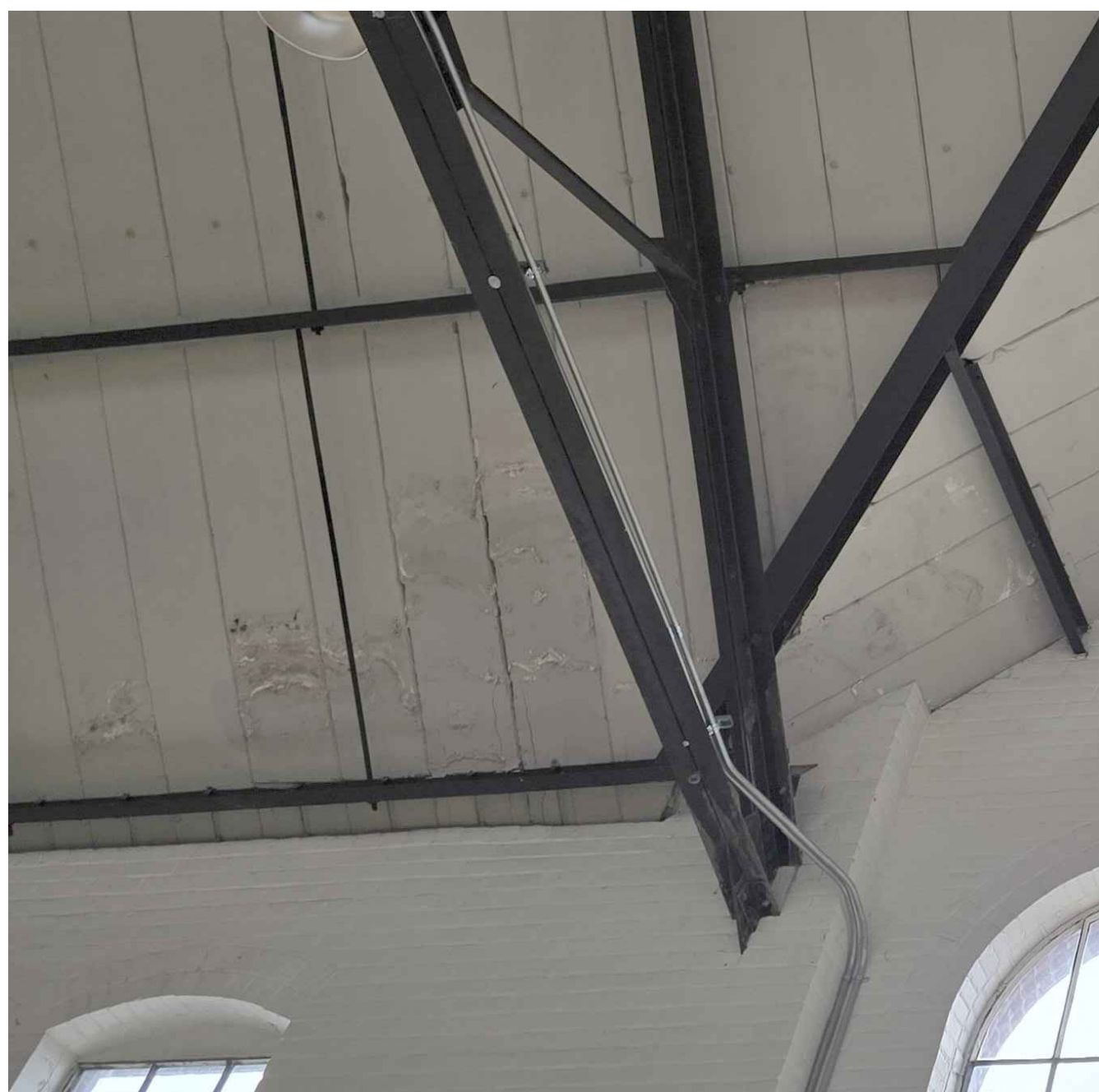
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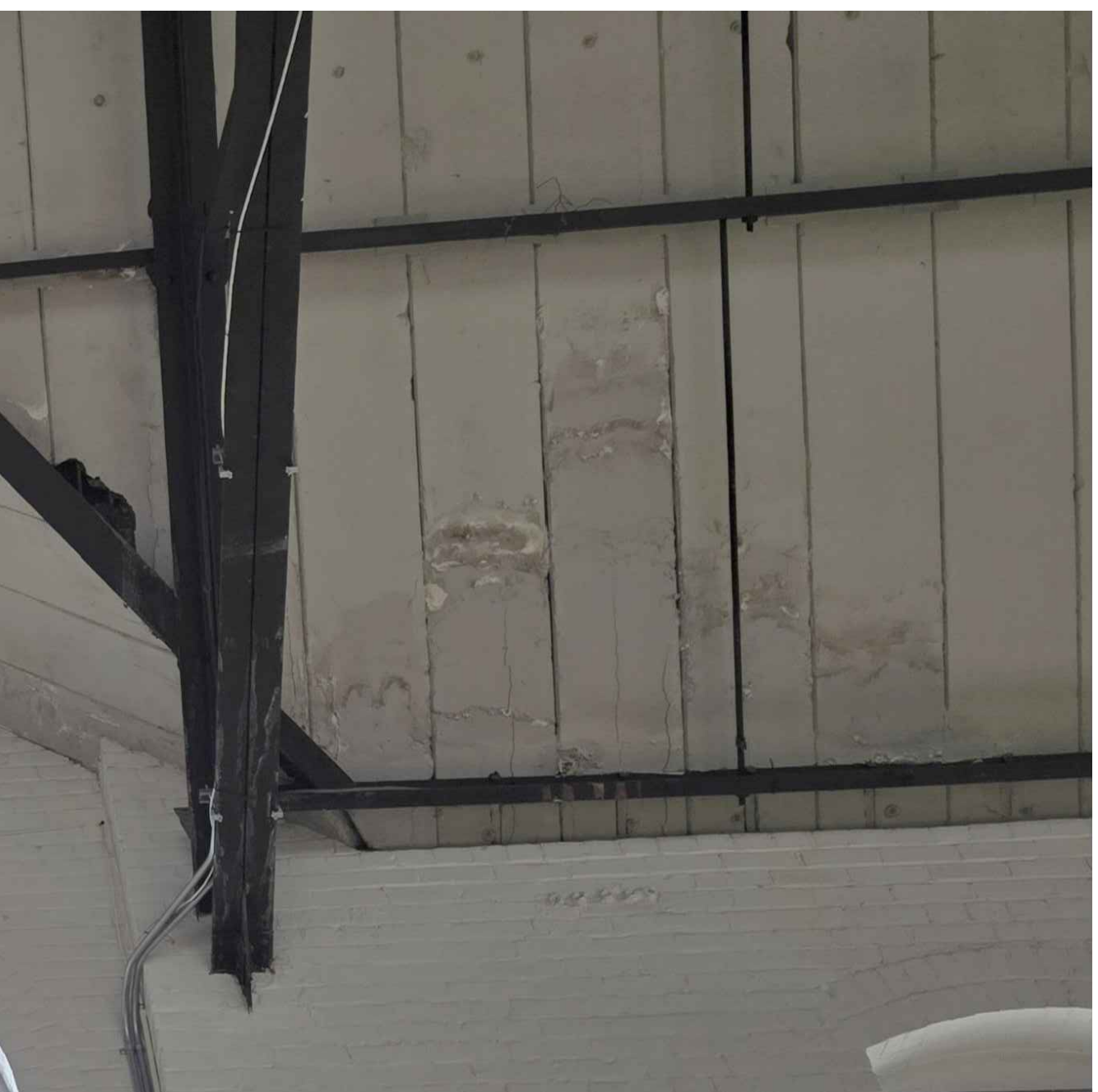
5 PHOTO A3
S201



4 PHOTO A3
S201

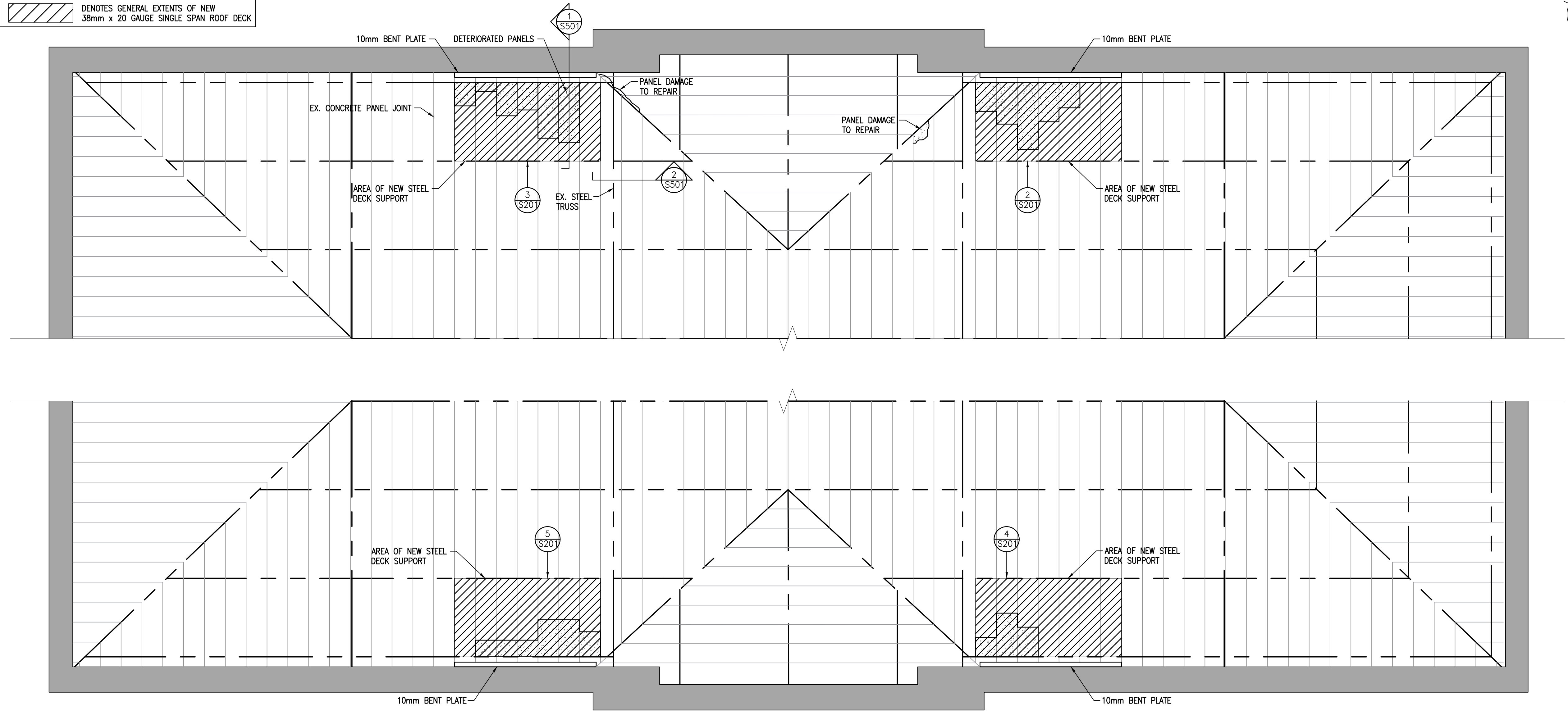


3 PHOTO A2
S201



2 PHOTO A1
S201

LEGEND
 DENOTES GENERAL EXTENTS OF NEW
 38mm x 20 GAUGE SINGLE SPAN ROOF DECK



1 UPPER GYM PART REFLECTED CEILING PLAN
S201 1:50



PROJECT:
 TRINITY COLLEGE SCHOOL
 UPPER GYM REMEDIAL WORK
 55 DEBLAQUIRE STREET N
 PORT HOPE, ON L1A 4K7
 TRINITY COLLEGE SCHOOL

DRAWING:
 UPPER GYM PART RCP

DESIGN BY: BBA SEAL:
 DRAWN BY: KJ
 CHECKED BY: DM
 DATE: MAY, 2026
 SCALE: AS NOTED

PROJECT NO: DRAWING NO:
26035 S201

**BRICK REMEDIATION
GENERAL NOTES:**

- FIELD VERIFY ALL DIMENSIONS. REPORT ALL DISCREPANCIES TO CONSULTANT PRIOR TO COMMENCING WORK.
- ALL MATERIAL REMOVED FROM BUILDING TO BE DISPOSED OF OFF SITE.
- ENSURE AREAS BELOW WORK ARE PROTECTED FROM FALLING DEBRIS AT ALL TIMES UNTIL PROJECT CLOSEOUT.
- ALL BRICK, MORTAR AND PRECAST MATERIALS TO MATCH EXISTING BUILDING. CONTRACTOR TO PROVIDE SAMPLES TO ARCHITECT/OWNER PRIOR TO ORDERING MATERIALS AND COMMENCING WORK.
- CONTRACTOR TO PROTECT THE EXISTING BUILDING FROM WEATHER, PEST AND ELEMENTS DURING CONSTRUCTION.
- THE BUILDING WILL REMAIN OPERATIONAL DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY PROTECTION AND/OR HOARDING TO ENSURE THE EXISTING FACILITY OPERATIONS ARE NOT DISTURBED AND/OR DISRUPTED DURING CONSTRUCTION.
- ALL MAIN EXISTING BUILDING ENTRANCES MUST REMAIN OPEN DURING THE CONSTRUCTION WORK. DURING CONSTRUCTION THE EXISTING MAIN ENTRANCE SHALL BE PROTECTED WITH HOANGING, SCAFFOLDING, FENCING ETC. AS TO PROVIDE ADEQUATE PROTECTION TO FACILITY STAFF DURING THE ON-GOING CONSTRUCTION ACTIVITIES.
- REFER TO THE SITE PLAN FOR SITE STORAGE AREAS. NOTE THAT SITE STORAGE IS LIMITED SINCE MOST OF THE EXISTING PARKING LOT MUST REMAIN ACCESSIBLE FOR FACILITY STAFF DURING CONSTRUCTION. OFF-SITE SITE STORAGE IS REQUIRED.
- THE EXISTING PAINT IS BELIEVED TO BE ALKID PAINT WHICH CONTAINS LEAD. REFER TO THE DESIGNATED SUBSTANCE REPORT PREPARED BY GOLDER ASSOCIATES FOR DESIGNATED SUBSTANCE REQUIREMENTS AND PROCEDURES. THE CONTRACTOR MUST COMPLETE REMOVAL / STRIPPING OF EXISTING LEAD CONTAINING PAINT IN ACCORDANCE WITH THE MINISTRY OF LABOR REQUIREMENTS PROVIDED ADEQUATE PROTECTION FOR ALL WORKERS, PEDESTRIANS AND FACILITY STAFF.
- ALL REMEDIAL WORK SHALL BE COMPLETED FROM A SWING STAGE, SCAFFOLDING AND/OR ENGINEERED PLATFORMS. THE EXISTING BUILDING HAS VARIOUS ROOF LEVELS AND ELEVATIONS. THE TEMPORARY WORK PLATFORM AREA SELECTED TO COMPLETE THE RESTORATION WORK MUST BE ENGINEERED. ANY TEMPORARY STRUCTURE SUSPENDED FROM THE EXISTING BUILDING STRUCTURE MUST BE DESIGNED BY THE CONTRACTOR'S ENGINEER. THIS INCLUDES CONSTRUCTION OF THE EXISTING STRUCTURE HAS ADEQUATE CAPACITY TO SUPPORT THE TEMPORARY LOADS IN COMBINATION WITH THE EXISTING BUILDING LOADS. REFER TO EXISTING BUILDING DRAWINGS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT A DETAILED TEMPORARY CONSTRUCTION METHODOLOGY PREPARED BY AN ENGINEER REGISTERED IN ONTARIO. THE METHODOLOGY WILL BE REVIEWED BY THE CONSULTANTS AND TORONTO HYDRO PRIOR TO COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS RELATED TO TEMPORARY STRUCTURE, ROAD CLOSURES, PEDESTRIAN WALKWAY CLOSURE ETC.
- THE CONTRACTOR SHALL MAKE NECESSARY SAFETY PROVISIONS FOR PROTECTION OF EXISTING PEDESTRIAN WALKWAYS, ROADS, PUBLIC LANE WAYS, AND BUILDING ENTRANCES DURING OVERHEAD CONSTRUCTION AND INSPECTION WORK. THE SAFETY PROVISION SHALL ENSURE THAT THE PUBLIC IS PROTECTED ANY POTENTIAL FALLING DEBRIS FROM OVERHEAD WORK TAKING PLACE ON THE BUILDING FACADES.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ANY TEMPORARY ROAD CLOSURE AND/OR PEDESTRIAN WALKWAY PERMITS NECESSARY TO COMPLETE THE INSPECTION WORK.
- REFER TO EXISTING BUILDING DRAWINGS FOR DETAILED BUILDING FLOOR PLANS, ELEVATIONS, AND SECTION DETAILS.
- ALL M & E WORK MUST BE COMPLETED BY QUALIFIED TRADES AND TRADESMEN.
- REFER TO TECHNICAL SPECIFICATIONS FOR SPECIALTY STRIPPING/CLEANING PROCEDURES FOR THE EXISTING BRICK AND SPECIALTY RE-COATING REQUIREMENTS FOR THE CLEANED BRICK.

**CLEANING OF
MASONRY SURFACES:**

- GENERAL REQUIREMENTS:**
- PERFORM CLEANING USING THE LEAST AGGRESSIVE MEANS NECESSARY TO ACHIEVE THE DESIRED RESULT, IN ACCORDANCE WITH HERITAGE CONSERVATION BEST PRACTICES.
 - PROTECT ADJACENT MATERIALS, FINISHES, AND LANDSCAPING FROM DAMAGE, STAINING, OR CHEMICAL EXPOSURE.
 - DO NOT USE ABRASIVE METHODS, HIGH-PRESSURE WASHING, OR METALLIC BRUSHES THAT MAY DAMAGE MASONRY UNITS OR MORTAR JOINTS.
 - TEST ALL CLEANING METHODS AND PRODUCTS ON INCONSPICUOUS AREAS AND OBTAIN APPROVAL PRIOR TO FULL-SCALE APPLICATION.
- REMOVAL OF LIGHT SOILING:**
- CLEAN MINOR SURFACE DIRT AND ATMOSPHERIC DEPOSITS USING A SOLUTION OF MILD, NON-IONIC DETERGENT AND POTABLE WARM WATER.
 - APPLY USING SOFT, NON-METALLIC, NYLON-BRISTLED BRUSHES.
 - RINSE THOROUGHLY WITH LOW-PRESSURE CLEAN WATER TO REMOVE RESIDUE.
- REMOVAL OF EFFLORESCENCE AND STUBBORN STAINING:**
- REMOVE EFFLORESCENCE (WATER-SOLUBLE SALT DEPOSITS) AND MORTAR SMEARS USING A MANUFACTURER-APPROVED MASONRY CLEANING AGENT SPECIFICALLY FORMULATED FOR DISSOLVING SALT DEPOSITS.
 - CLEANING AGENTS SHALL BE: WATER-BASED AND NON-ACIDIC WHERE FEASIBLE (PARTICULARLY FOR HERITAGE SUBSTRATES), COMPATIBLE WITH EXISTING MASONRY MATERIALS AND MORTAR, SUITABLE FOR USE ON HISTORIC OR LIGHT-COLORED BRICK AND STONE.
 - APPLY CLEANING SOLUTION IN STRICT ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS, INCLUDING DWELL TIME AND DILUTION RATIOS.
 - USE CONTROLLED APPLICATION METHODS AND NON-ABRASIVE AGITATION TO AVOID SURFACE EROSION.
 - THOROUGHLY RINSE SURFACES WITH LOW-PRESSURE WATER TO PREVENT RESIDUE ACCUMULATION AND RE-CRYSTALLIZATION OF SALTS.
- HERITAGE CONSIDERATIONS:**
- CLEANING PROCEDURES SHALL NOT ALTER THE COLOR, TEXTURE, OR PATINA OF HISTORIC MASONRY.
 - AVOID REMOVAL OF SOUND, AGED FINISHES THAT CONTRIBUTE TO THE BUILDING'S HERITAGE CHARACTER.
 - WHERE HEAVY STAINING PERSISTS, CONSULT A CONSERVATION SPECIALIST PRIOR TO PROCEEDING WITH MORE AGGRESSIVE METHODS.

REPAIR NOTES

- ROUT OUT AND RE-POINT DETERIORATED AND/OR OPEN MORTAR JOINTS. MORTAR COLOUR AND TEXTURE TO MATCH EXISTING. REFER TO DETAILS 3/5501 FOR RE-POINTING SEQUENCING.
- REMOVE EXISTING DAMAGED BRICK AND REPLACE WITH NEW TO MATCH EXISTING. CLEAN ALL MORTAR FROM EXISTING JOINTS AND REMOVE ALL LOOSE MATERIAL PRIOR TO PLACING NEW BRICK. INSTALL REPLACEMENT BRICK WHERE INDICATED. NEW BRICK TO MATCH EXISTING IN SIZE, COLOUR AND TEXTURE.
- REMOVE EXISTING MORTAR JOINTS BETWEEN CAP STONE SECTIONS AND REPOINT.
- NEW CONCRETE BLOCK WITH MORTAR MOISTURE PROOF SEALANT. REFER TO DETAIL 6/A501.
- LOCALLY CLEAN BRICK AND MORTAR OF STAINING, EXTENSIVE CARBON DEPOSITING AND EFFLORESCENCE.
- ROUT OUT LOOSE MORTAR BELOW CAP STONE AND REPOINT TO ENSURE NO MOISTURE INFILTRATION.
- ROUT OUT ALL CAULKED JOINTS AT FLASHING AND RE-CAULK WHERE GUTTER INTERSECTS BRICK.

NOTES:

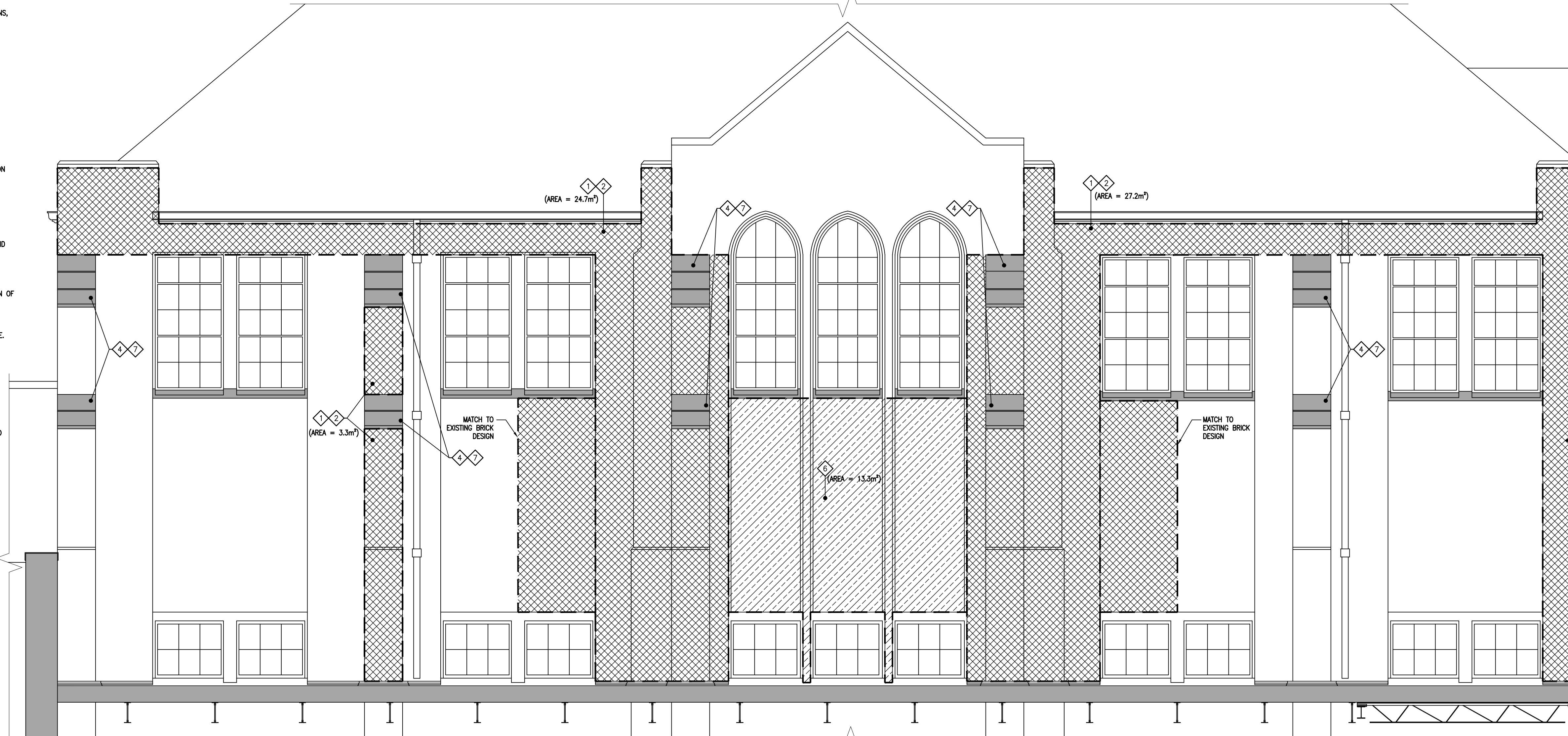
- ALL NEW BRICKS AND BRICK JOINTS MORTAR TO MATCH EXISTING DIMENSIONS, COLOURS AND TEXTURES.
- NEW MORTAR SHALL BE ASSUMED AS KING FLM-350 OR EQUAL.
- EXISTING BRICK UNIT SIZE SEE DETAIL 4/5501.
- ASSUME ALL EXISTING MASONRY WILL BE CEMENTITIOUS FOR PRICING PURPOSES.



3 EX. CONDITION PHOTO 02
S301



2 EX. CONDITION PHOTO 01
S301



1 PARTIAL GYM EAST ELEVATION
S301 1:40

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NO.	ISSUES/ REVISIONS	DATE	BY
1	ISSUED FOR TENDER	MAY 28, 2026	BBA



PROJECT:
**TRINITY COLLEGE SCHOOL
UPPER GYM REMEDIAL WORK**

55 DEBLAQUIRE STREET N
PORT HOPE, ON L1A 4K7
TRINITY COLLEGE SCHOOL

DRAWING:
BRICK REPAIR NOTES

DESIGN BY: BBA SEAL:
DRAWN BY: KJ
CHECKED BY: DM
DATE: MAY, 2026
SCALE: AS NOTED

PROJECT NO: 26035 DRAWING NO: S301

**BRICK REMEDIATION
GENERAL NOTES:**

- FIELD VERIFY ALL DIMENSIONS. REPORT ALL DISCREPANCIES TO CONSULTANT PRIOR TO COMMENCING WORK.
- ALL MATERIAL REMOVED FROM BUILDING TO BE DISPOSED OF OFF SITE.
- ENSURE AREAS BELOW WORK ARE PROTECTED FROM FALLING DEBRIS AT ALL TIMES UNTIL PROJECT CLOSEOUT.
- ALL BRICK, MORTAR AND PRECAST MATERIALS TO MATCH EXISTING BUILDING. CONTRACTOR TO PROVIDE SAMPLES TO ARCHITECT/OWNER PRIOR TO ORDERING MATERIALS AND COMMENCING WORK.
- CONTRACTOR TO PROTECT THE EXISTING BUILDING FROM WEATHER, PEST AND ELEMENTS DURING CONSTRUCTION.
- THE BUILDING WILL REMAIN OPERATIONAL DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE NECESSARY PROTECTION AND/OR HOARDING TO ENSURE THE EXISTING FACILITY OPERATIONS ARE NOT DISTURBED AND/OR DISRUPTED DURING CONSTRUCTION.
- ALL MAIN EXISTING BUILDING ENTRANCES MUST REMAIN OPEN DURING THE CONSTRUCTION WORK. DURING CONSTRUCTION THE EXISTING MAIN ENTRANCE SHALL BE PROTECTED WITH HOARDING, SCAFFOLDING, FENCING ETC. AS TO PROVIDE ADEQUATE PROTECTION TO FACILITY STAFF DURING THE ON-GOING CONSTRUCTION ACTIVITIES.
- REFER TO THE SITE PLAN FOR SITE STORAGE AREAS. NOTE THAT SITE STORAGE IS LIMITED SINCE MOST OF THE EXISTING PARKING LOT MUST REMAIN ACCESSIBLE FOR FACILITY STAFF DURING CONSTRUCTION. OFF-SITE SITE STORAGE IS REQUIRED.
- THE EXISTING PAINT IS BELIEVED TO BE ALKID PAINT WHICH CONTAINS LEAD. REFER TO THE DESIGNATED SUBSTANCE REPORT PREPARED BY GOLDER ASSOCIATES FOR DESIGNATED SUBSTANCE REQUIREMENTS AND PROCEDURES. THE CONTRACTOR MUST COMPLETE REMOVAL / STRIPPING OF EXISTING LEAD CONTAINING PAINT IN ACCORDANCE WITH THE MINISTRY OF LABOR REQUIREMENTS PROVIDED ADEQUATE PROTECTION FOR ALL WORKERS, PEDESTRIANS AND FACILITY STAFF.
- ALL REMEDIAL WORK SHALL BE COMPLETED FROM A SWING STAGE, SCAFFOLDING AND/OR ENGINEERED PLATFORMS. THE EXISTING BUILDING HAS VARIOUS ROOF LEVELS AND ELEVATIONS. THE TEMPORARY WORK PLATFORM AREA SELECTED TO COMPLETE THE RESTORATION WORK MUST BE ENGINEERED. ANY TEMPORARY STRUCTURE SUSPENDED FROM THE EXISTING BUILDING STRUCTURE MUST BE DESIGNED BY THE CONTRACTOR'S ENGINEER. THIS INCLUDES CONSTRUCTION THAT THE EXISTING STRUCTURE HAS ADEQUATE CAPACITY TO SUPPORT THE TEMPORARY LOADS IN COMBINATION WITH THE EXISTING BUILDING LOADS. REFER TO EXISTING BUILDING DRAWINGS FOR ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT A DETAILED TEMPORARY CONSTRUCTION METHODOLOGY PREPARED BY AN ENGINEER REGISTERED IN ONTARIO. THE METHODOLOGY WILL BE REVIEWED BY THE CONSULTANTS AND TORONTO HYDRO PRIOR TO COMMENCING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL BUILDING PERMITS RELATED TO TEMPORARY STRUCTURE, ROAD CLOSURES, PEDESTRIAN WALKWAY CLOSURE ETC.
- THE CONTRACTOR SHALL MAKE NECESSARY SAFETY PROVISIONS FOR PROTECTION OF EXISTING PEDESTRIAN WALKWAYS, ROADS, PUBLIC LANE WAYS, AND BUILDING ENTRANCES DURING OVERHEAD CONSTRUCTION AND INSPECTION WORK. THE SAFETY PROVISION SHALL ENSURE THAT THE PUBLIC IS PROTECTED ANY POTENTIAL FALLING DEBRIS FROM OVERHEAD WORK TAKING PLACE ON THE BUILDING FACADES.
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5 EX. CONDITION PHOTO 03
S302



4 EX. CONDITION PHOTO 02
S302



3 EX. CONDITION PHOTO 01
S302



1 PARTIAL CLASSROOM EAST ELEVATION
S302 1:40

2 PHOTO A1
S302

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