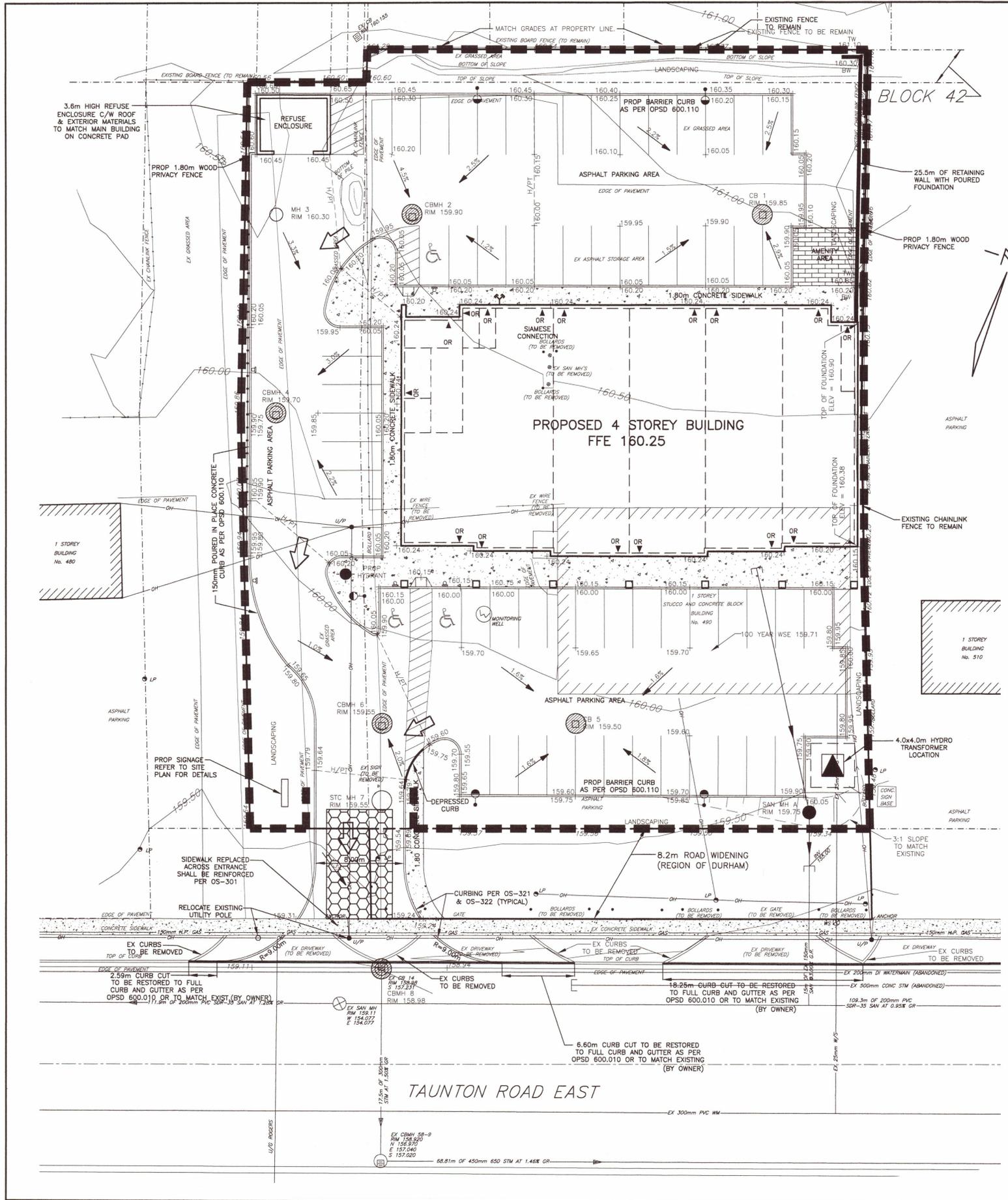


THIS APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
 1. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF THE PROPOSED CONSTRUCTION OF ANY UTILITIES AND OTHER UNDERGROUND SERVICES AND THE INSTALLATION OF ANY PROPOSED STORM SEWER CONNECTION.  
 2. ANY DEVIATION FROM THE APPROVED PLAN WITH RESPECT TO THE LOCATION OF ANY PROPOSED UTILITIES OR SERVICES WITHIN ANY CITY ROAD ALLOWANCE, SHALL BE THE APPROVAL OF THE UTILITY AUTHORITY FOR ANY PROPOSED UTILITY EXTENSION OR SERVICE CONNECTION.  
 3. THE OWNER MUST OBTAIN CITY OF OSHAWA APPROVAL FOR THE LOCATION OF ANY PROPOSED UTILITIES OR SERVICES WITHIN ANY CITY ROAD ALLOWANCE.  
 4. THE APPROVAL OF THE UTILITY AUTHORITY FOR ANY PROPOSED UTILITY EXTENSION OR SERVICE CONNECTION.



**SEDIMENT CONTROL CONSTRUCTION SCHEDULE**

- 1) INSTALL PERIMETER ENVIRO FENCE.
- 2) STRIP SITE OF TOPSOIL AND REMOVE OFF SITE OR STOCK PILE AND PROVIDE ENVIRO FENCE AROUND BOTTOM OF PILE.
- 3) INSTALL CATCHBASIN FILTRATION ON ALL CATCHBASINS AND CATCHBASIN MANHOLES.
- 4) SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED UNTIL ALL AREAS OF THE SITE HAVE BEEN STABILIZED WITH SOD OR ASPHALT.

**DUST CONTROL MEASURES:**

**A. PRE-GRADING PLANNING**

- 1) THE SITE SERVICING FOR THE SITE SHALL BE SCHEDULED SUCH THAT THE OVERALL TIME THE AREAS ARE LEFT OPEN TO WIND THAT CREATE BLOWING DUST FROM THE EARTHWORK OPERATIONS IS MINIMIZED.
- 2) THE TOPSOIL STOCKPILE (IF APPLICABLE) SHALL BE STABILIZED WITHIN 30 DAYS OF STOCKPIILING MATERIALS IN ACCORDANCE WITH CITY'S CRITERIA. ALL DISTURBED LANDS OUTSIDE THE PHASE OF WORK SHALL BE STABILIZED/VEGETATED.
- 3) THE CONTRACTOR SHALL APPLY WATER TO HAUL ROADS AND STOCKPILES (IF APPLICABLE) BY WAY OF WATER TRUCK.

**B. WATERING (POST-GRADING)**

- 4) WITHIN AREAS WHERE EARTHWORKS AND OR UNDERGROUND MUNICIPAL SERVICING IS ON-GOING, WATER IS TO BE UTILIZED AT SUFFICIENT QUANTITY TO PREVENT VISIBLE EMISSIONS FROM EXTENDING MORE THAN 30m FROM THE POINT OF ORIGIN.

**C. REDUCE VEHICLE SPEED**

- 5) THE ON-SITE SPEED LIMIT FOR CONSTRUCTION VEHICLES SHALL BE MINIMIZED AND TO BE USED IN CONJUNCTION WITH WATERING TO PREVENT VISIBLE DUST EMISSIONS.

**D. RESTRICT ACTIVITIES DURING HIGH WIND PERIODS**

- 6) THE HIGH VISIBILITY OF CERTAIN WORKS AND THE CLOSE PROXIMITY AND POPULATION IMPACT SHOULD BE TAKEN INTO CONSIDERATION WHEN SCHEDULING DUST-PRODUCING WORK. APPROPRIATE DUST CONTROL MEASURES SHALL BE IN PLACE IN SUCH SITUATIONS.

**E. ROAD CLEANING**

- 7) SPILLAGE, EROSION, OR MATERIALS "TRACKED OUT" ON A ROAD TO BE CLEANED USING MECHANICAL STREET SWEEPERS OR FLUSHER TRUCK AT LEAST BY THE END OF THE WORK DAY. HOWEVER, IF SPILLAGE EXTENDS MORE THAN 15m ALONG A PAVED PUBLIC ROADWAY, IT MUST BE CLEANED UP IMMEDIATELY.
- 8) IMPORTING AND EXPORTING OF MATERIALS ON AND OFF-SITE WILL BE SHUT DOWN DURING AND FOLLOWING INCLEMENT WEATHER UNTIL THE ROAD SURFACES HAVE BEEN CLEANED.

**LEGEND**

- ORIGINAL SURVEY ELEVATION: 103.15
- ORIGINAL ELEVATION TO REMAIN: 101.35
- PROPOSED ELEVATIONS: 103.15
- PROPOSED SWALE: [Symbol]
- DIRECTION OF DRAINAGE: [Symbol]
- DIRECTION OF OVERLAND FLOW: [Symbol]
- PERIMETER ENVIRO FENCE: [Symbol]
- CATCHBASIN FILTRATION: [Symbol]
- CONSTRUCTION VEHICLE ACCESS: 6.0x10.0x0.50m OF 150mm Ø RIP RAP

**PERIMETER ENVIRO FENCE DETAIL**  
NOT TO SCALE

The diagram shows a cross-section of a perimeter enviro fence. It consists of a 300mm wide trench with a 400mm deep base. A T-bar (2.0m O/C) is placed in the trench. A post & wire fence is installed on top of the T-bar. The entire assembly is secured to a post & wire fence at 300mm O/C. The trench is to be compacted, and the remaining 150mm of the trench is to be buried.

**CITY OF OSHAWA**  
 THIS PLAN IS APPROVED FOR INCLUSION IN THE SITE PLAN AGREEMENT IN ACCORDANCE WITH THE PLANNING ACT  
 PLAN 7 OF 13 DATE January 31, 2017  
 PLANNING SERVICES  
 ENGINEERING SERVICES  
 SPA-2016-03  
 R-919-01  
 SUBJECT SITE  
 KEY PLAN  
 N.T.S.

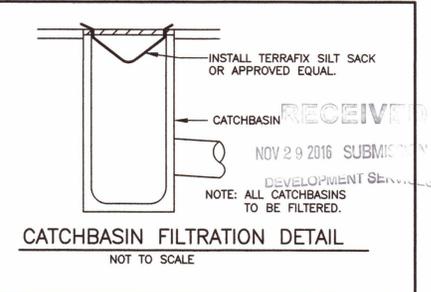
PART OF LOT 7, CONCESSION 4 & ALL OF BLOCK 41  
 GEOGRAPHIC TOWNSHIP OF EAST WHITBY  
 REGISTERED PLAN 40M-2334  
**CITY OF OSHAWA**  
 REGIONAL MUNICIPALITY OF DURHAM

**OSHAWA BENCHMARK No. 270**

PLAQUE TO TOP FOUNDATION OF PETRO-CAN BUILDING (#523 TAUNTON ROAD EAST) 0.80m SOUTH OF NORTH EAST CORNER OF TAUNTON ROAD EAST AND WILSON ROAD NORTH  
 ELEVATION - 158.014m

**SEDIMENT EROSION AND CONTROL NOTES:**

- 1) SILTATION CONTROL FENCING TO BE INSPECTED (BY CITY OF OSHAWA AND OWNER/AGENTS REPRESENTATIVE) AND INSTALLED PRIOR TO CONSTRUCTION.
- 2) SILT FENCE LOCATIONS ARE APPROXIMATE. EXACT LOCATIONS ARE TO BE DETERMINED ON SITE BY THE CONTRACTOR IN CONSULTATION WITH THE CITY, ENGINEER, AND OWNER.
- 3) NO CONSTRUCTION ACTIVITY OR MACHINERY SHALL INTRUDE BEYOND SILTATION FENCING OR LIMIT OF DEVELOPMENT.
- 4) ALL CONSTRUCTION VEHICLES ARE TO ENTER AND LEAVE THE SITE AT THE APPROVED LOCATION ONLY.
- 5) OWNER, ENGINEER, AND CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING AND MAINTAINING ALL SILTATION CONTROL DEVICES AND STRUCTURES IN GOOD CONDITION AT ALL TIMES. INSPECTIONS ARE TO BE SCHEDULED REGULARLY AND AFTER EACH RAINFALL EVENT.
- 6) SEDIMENT TO BE REMOVED FROM BEHIND SILT FENCES WHEN IT IS ONE-THIRD TO HALF WAY UP THE FILTER CLOTH.
- 7) EXISTING VEGETATION SHALL NOT BE IMPACTED BY THE INSTALLATION OF EROSION/SEDIMENTATION CONTROL DEVICES.
- 8) REDUCTION/REMOVAL OF ANY EROSION OR SEDIMENT CONTROL MEASURES MUST BE APPROVED BY THE CITY, ONLY UPON RECEIVING OFFICIAL REQUEST FROM CONSULTANT/OWNER.
- 9) ALL GRADING WORK SHALL COMPLY WITH THE CITY'S ENGINEERING DESIGN STANDARDS AND CRITERIA (SECTION 6).



NO.	DATE	REVISION	BY
4	11/15/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
3	08/31/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
2	06/07/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
1	01/08/2016	ISSUED FOR SITE PLAN APPROVAL	

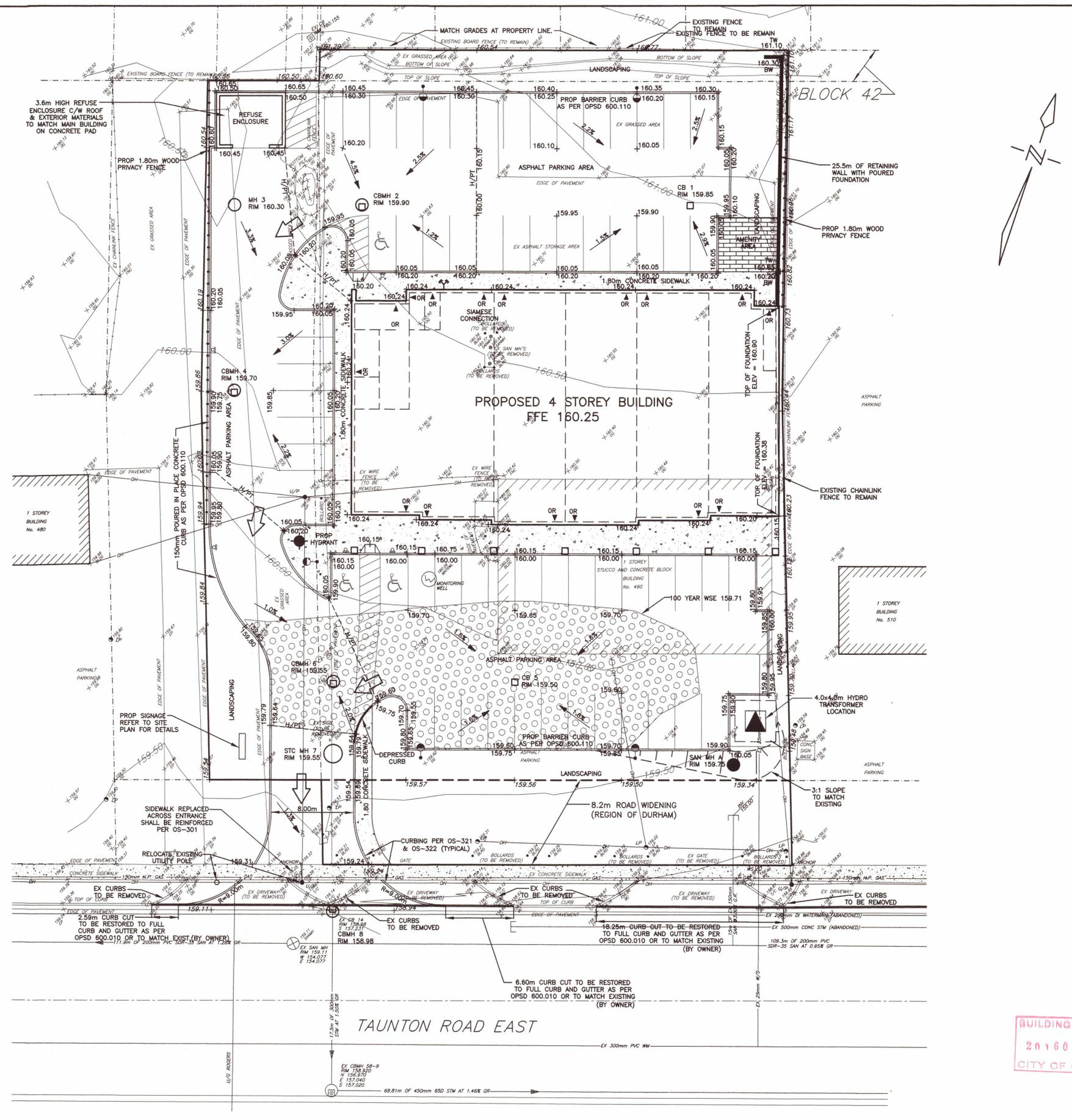
490 TAUNTON ROAD EAST, OSHAWA (SPA-2016-03)

**EROSION AND SEDIMENT CONTROL PLAN**

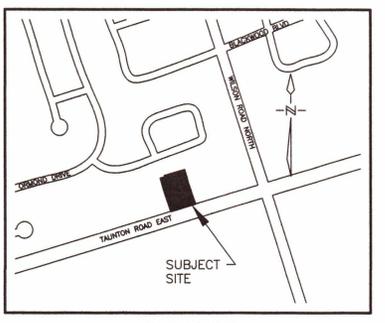
**D.G. Biddle & Associates Limited**  
 consulting engineers and planners  
 96 KING STREET EAST • OSHAWA, ON L1H 1B6  
 PHONE (905) 576-8500 • FAX (905) 576-9730  
 info@dgbiddle.com

<p>S.F. SHARP 100106519 15/11/2016 PROVINCE OF ONTARIO</p>	SCALE: 1:200	PROJECT NO. 115147
	DRAWN BY: G.P.W./D.P.T.	DRAWING NO. ES-1
	DESIGN BY: D.P.T.	
	CHECKED BY: J.A.I.	
	DATE: OCT 2015	

**NOT TO SCALE**



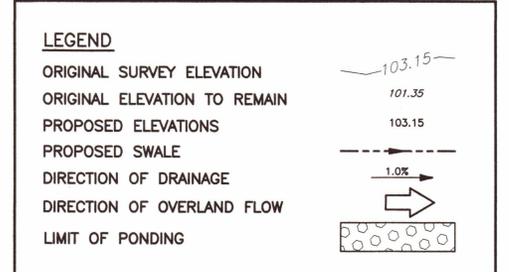
- THIS APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING, RESTORING AND/OR REPAIRING EXISTING UTILITIES AND OTHER PROPOSED STORM SEWER CONNECTIONS.
  2. ANY DEVIATION FROM THE APPROVED PLAN SHALL BE SUBJECT TO APPROVAL AND REQUIRE SUBMISSION OF REVISED PLAN FOR APPROVAL.
  3. THE LOCATION OF ANY CITY OF OSHAWA SERVICES WITHIN ANY CITY ROAD ALLOWANCE SHALL BE APPROVED BY THE UTILITY AUTHORITY FOR ANY PROPOSED UTILITY EXTENSION OR SERVICE CONNECTION.



**PART OF LOT 7, CONCESSION 4 & ALL OF BLOCK 41**  
 GEOGRAPHIC TOWNSHIP OF EAST WHITBY  
 REGISTERED PLAN 40M-2334  
 CITY OF OSHAWA  
 REGIONAL MUNICIPALITY OF DURHAM

**OSHAWA BENCHMARK No. 270**  
 PLAQUE TO TOP FOUNDATION OF PETRO-CAN BUILDING (#523 TAUNTON ROAD EAST) 0.80m SOUTH OF NORTH EAST CORNER OF TAUNTON ROAD EAST AND WILSON ROAD NORTH  
 ELEVATION = 158.014m

- GENERAL NOTES**
- 1) ALL SLOPES TO BE 3:1 MAXIMUM.
  - 2) ALL SWALES TO BE 2.0% MINIMUM GRADE UNLESS OTHERWISE NOTED.
  - 3) ALL SLOPES, SWALES AND OPEN AREAS TO BE SOODED ON MINIMUM OF 150mm TOPSOIL.
  - 4) PROPOSED GRADING TO MATCH EXISTING GRADES AT PROPERTY LINE.
  - 5) BUILDER TO ENSURE MINIMUM 1.20m COVER ON ALL FOOTINGS.
  - 6) THE LANDSCAPE PLAN (L-1) HAS BEEN REVIEWED AND THE PROPOSED LANDSCAPE WORK CONFORMS WITH THE SITE GRADING DESIGN.



CITY OF OSHAWA  
 THIS PLAN IS APPROVED FOR INCLUSION IN THE SITE PLAN AGREEMENT IN ACCORDANCE WITH THE PLANNING ACT  
 PLAN 6 OF 13 DATE January 31, 2017  
 PLANNING SERVICES  
 ENGINEERING SERVICES  
 PLANNING FILE REF SPA-2016-03  
 ENGINEERING FILE REF R-919-01

**RECEIVED**  
 NOV 29 2016 SUBMISSION 4  
 DEVELOPMENT SERVICES

NO.	DATE	REVISION	BY
4	11/15/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
3	08/31/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
2	06/07/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
1	01/08/2016	ISSUED FOR SITE PLAN APPROVAL	

REVISIONS  
**490 TAUNTON ROAD EAST, OSHAWA (SPA-2016-03)**  
**SITE GRADING PLAN**

**D.G. Biddle & Associates Limited**  
 consulting engineers and planners  
 98 KING STREET EAST • OSHAWA, ON L1H 1B8  
 PHONE (905) 578-8500 • FAX (905) 578-9730  
 info@dgmiddle.com

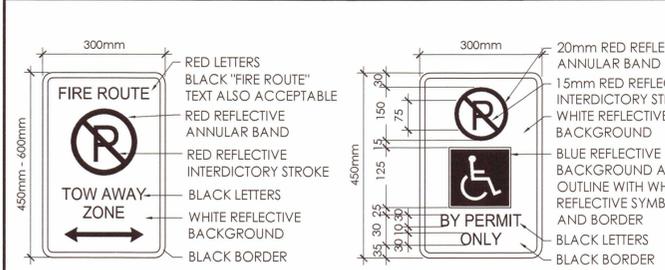
**BUILDING PERMIT #**  
**201602195**  
**CITY OF OSHAWA**

**PROFESSIONAL ENGINEER**  
 S.F. SHARP  
 100166610  
 15/11/2016  
 PROVINCE OF ONTARIO

SCALE: 1:200	PROJECT NO. 115147
DRAWN BY: G.P.W./D.P.T.	DRAWING NO. SG-1
DESIGN BY: D.P.T.	
CHECKED BY: J.A.I.	
DATE: OCT 2015	

**NOT TO SCALE**





**FIRE ROUTE - NO PARKING SIGN**  
NOT TO SCALE - NP

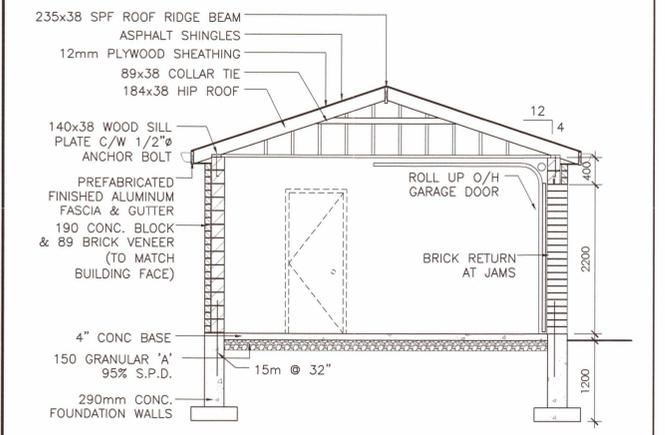
**ACCESSIBLE PARKING SIGN**  
NOT TO SCALE - AP

- NOTES**
- "NO PARKING FIRE ROUTE" SIGNS TO BE INSTALLED ALONG FIRE ROUTE
  - FIRE FIGHTING ACCESS IS TO BE PROVIDED IN ACCORDANCE WITH THE O.B.C. SECTION 3.2.5.
- ACCESSIBLE PARKING SPACE TO BE SIGNED & MARKED IN ACCORDANCE WITH HIGHWAY TRAFFIC ACT & CITY OF OSHTAWA
  - "ACCESSIBLE PARKING" SIGN TO BE INSTALLED ALONG ACCESSIBLE PARKING

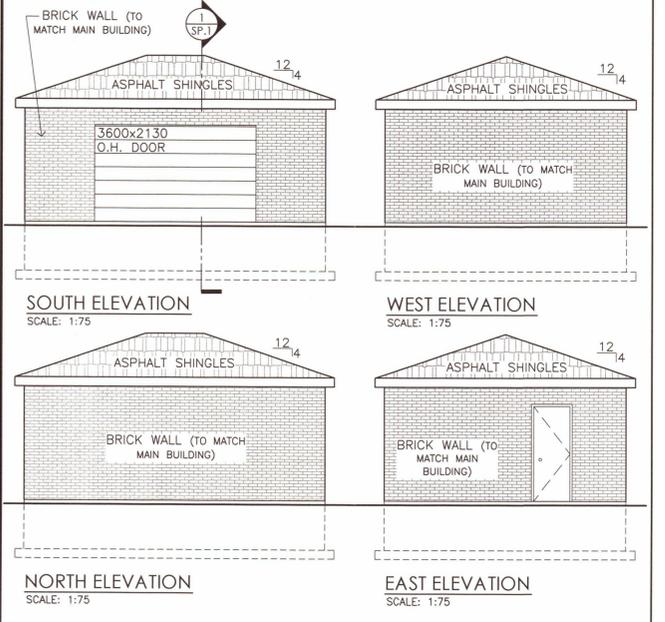


**BARRIER FREE ENTRANCE**  
NOT TO SCALE - BE

**DIRECTIONAL SIGNAGE**  
NOT TO SCALE - DS



**1 REFUSE ENCLOSURE DETAIL**  
SCALE: 1:50

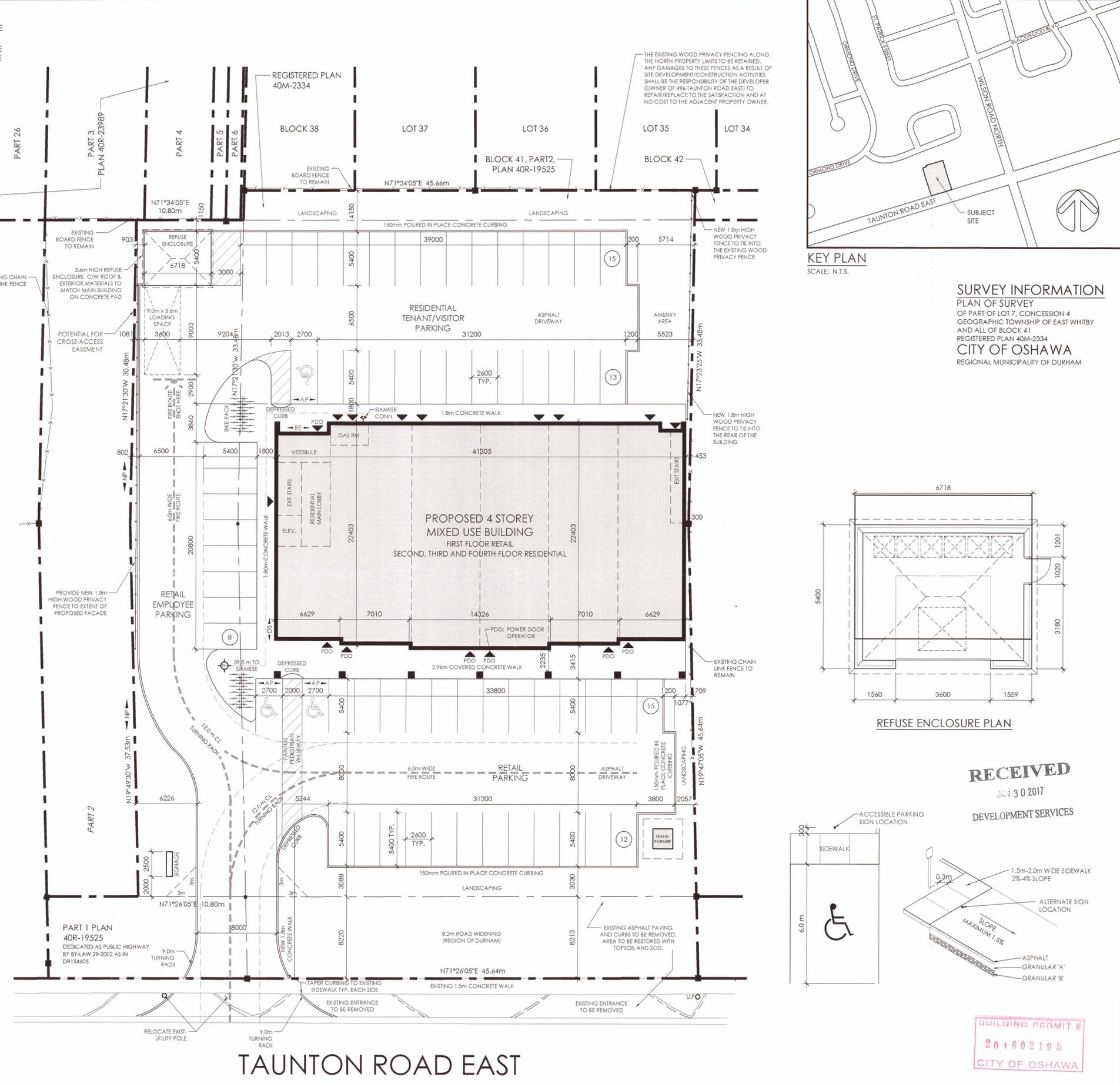


**SOUTH ELEVATION** SCALE: 1:75

**WEST ELEVATION** SCALE: 1:75

**NORTH ELEVATION** SCALE: 1:75

**EAST ELEVATION** SCALE: 1:75



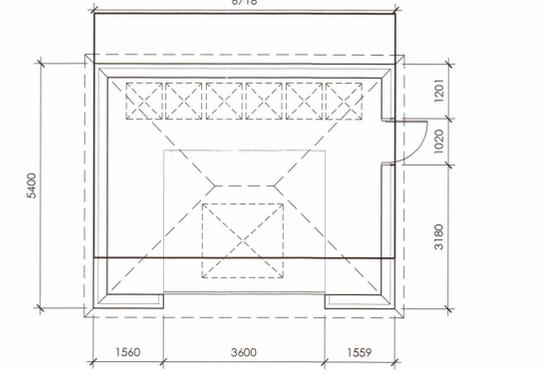
**TAUNTON ROAD EAST**

**PROPOSED SITE DEVELOPMENT PLAN**

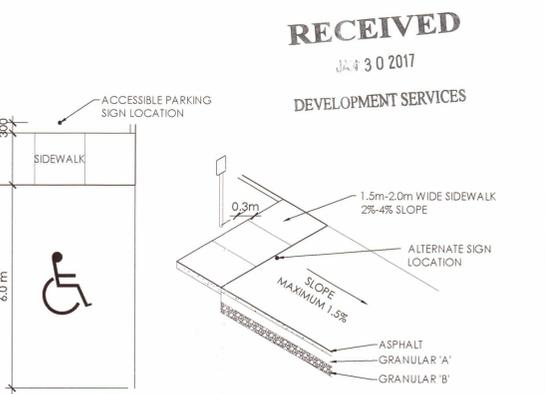


**KEY PLAN**  
SCALE: N.T.S.

**SURVEY INFORMATION**  
PLAN OF SURVEY  
OF PART OF LOT 7, CONCESSION 4  
GEOGRAPHIC TOWNSHIP OF EAST WHITBY  
AND ALL OF BLOCK 41  
REGISTERED PLAN 40M-2334  
**CITY OF OSHTAWA**  
REGIONAL MUNICIPALITY OF DURHAM



**REFUSE ENCLOSURE PLAN**



**ACCESSIBLE PARKING SIGN LOCATION**

**NOT TO SCALE**

**SITE STATISTICS:**

ZONING:	PSC-A
LOT AREA:	4,512.00 m <sup>2</sup>
ROAD WIDENING DEDUCTION:	(541.00 m <sup>2</sup> )
NET LOT AREA:	3,971.00 m <sup>2</sup>
LANDSCAPE AREA:	1,011.00 m <sup>2</sup> (25.45%)
PARKING & DRIVE AREA:	2001.10 m <sup>2</sup> (50.4%)

<b>BUILDING COVERAGE</b>	
MIXED USE BUILDING:	923.51 m <sup>2</sup> (23.22%)
REFUSE ENCLOSURE:	36.30 m <sup>2</sup> (0.91%)
<b>TOTAL BUILDING COVERAGE:</b>	<b>959.80 m<sup>2</sup> (24.17%)</b>

<b>GROSS FLOOR AREA (RETAIL)</b>	
FIRST FLOOR RETAIL:	838.73 m <sup>2</sup>

<b>RESIDENTIAL APARTMENTS</b>	
SECOND FLOOR:	6 UNITS
THIRD FLOOR:	6 UNITS
FOURTH FLOOR:	6 UNITS
<b>TOTAL RESIDENTIAL APARTMENTS:</b>	<b>18 UNITS</b>

<b>TYPES OF RESIDENTIAL SUITES</b>	
TWO BEDROOM UNITS:	6 UNITS/FLOOR = 18 UNITS

<b>PARKING REQUIRED</b>	
RETAIL SPACE:	838.73 m <sup>2</sup> = 34.95 SPACES (1 CAR/24 m <sup>2</sup> RETAIL)

<b>RESIDENTIAL:</b>	18 UNITS = 24.00 SPACES (1.33 CARS/APARTMENT UNIT)
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<b>TOTAL PARKING REQ'D:</b>	<b>58.95 SPACES</b>
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<b>PARKING PROVIDED</b>	
RETAIL (INCL. 2 ACCESSIBLE):	35 CARS
APARTMENTS (INCL. 1 ACCESSIBLE):	28 CARS
<b>TOTAL PARKING PROVIDED:</b>	<b>63 CARS</b>

<b>LOADING REQUIRED:</b>	1 SPACE
<b>LOADING PROVIDED:</b>	1 SPACE

<b>REQUIRED SETBACKS</b>	<b>PROPOSED SETBACKS</b>
FRONT (S) : 0.0 m	FRONT (S) : 21.95 m
REAR (N) : 4.5 m	REAR (N) : 23.25 m
SIDE (E) : 0.0 m	SIDE (E) : 0.30 m
SIDE (W) : 0.0 m	SIDE (W) : 14.30 m

\* LOT AREA DOES NOT INCLUDE THE ROAD WIDENING

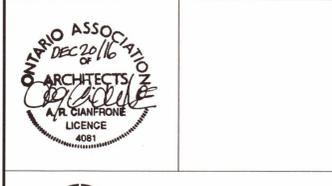
<b>MAX BLD HEIGHT</b>	= 14.5m (MV FILE: A-2016-39)
<b>PROPOSED BLD HEIGHT</b>	= 14.5m

12	01/25/2017	REVISED HIGH PARAPET HEIGHT TO 14.5m
11	01/06/2017	INTERIOR DIMENSIONS ADDED ON PLANS
10	12/20/2016	ISSUED FOR PERMIT
9	12/08/2016	ISSUED FOR PRICING
8	11/28/2016	REVISED ROOF PEAK
7	11/11/2016	ISSUED FOR FINAL SITE PLAN APPROVAL
6	10/07/2016	ISSUED FOR CLIENT REVIEW
5	09/12/2016	ISSUED FOR CONSULTANT COORDINATION
4	08/29/2016	REVISED AS PER CITY COMMENTS #2 Aug/24/16
3	07/20/2016	ISSUED FOR CONSULTANT COORDINATION
2	07/15/2016	ISSUED FOR CLIENT REVIEW
1	06/20/2016	ISSUED FOR CLIENT REVIEW

No.	Date	Description
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**Revisions**

ISSUED FOR FINAL SITE PLAN APPROVAL



**RECEIVED**  
JAN 30 2017  
DEVELOPMENT SERVICES

**CITY OF OSHTAWA**  
THIS PLAN IS APPROVED FOR INCLUSION IN THE SITE PLAN AGREEMENT IN ACCORDANCE WITH THE PLANNING ACT  
PLAN 1 OF 13 DATE: January 31, 2017  
PLANNING SERVICES  
ENGINEERING SERVICES  
PLANNING FILE REF: SPA-2016-03  
ENGINEERING FILE REF: R-919-01

**PROPOSED DEVELOPMENT**  
490 TAUNTON ROAD EAST  
OSHTAWA, ONTARIO

Design:	A.R.C.	Project No.:	-
Drawn:	I.A.M.	Scale:	AS NOTED
Checked:	A.R.C.	Printed:	01/25/2017

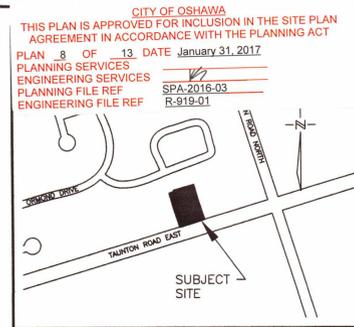
Drawing No.: **SP.1**

Revision: 12

**SITE PLAN & DETAILS**

PART OF LOT 7, CONCESSION 4  
 & ALL OF BLOCK 41  
 GEOGRAPHIC TOWNSHIP OF EAST WHITBY  
 REGISTERED PLAN 40M-2334  
 CITY OF OSHTAWA  
 REGIONAL MUNICIPALITY OF DURHAM

OSHTAWA BENCHMARK No. 270  
 PLAQUE TO TOP FOUNDATION OF PETRO-CAN BUILDING  
 (#523 TAUNTON ROAD EAST) 0.80m SOUTH OF NORTH  
 EAST CORNER OF TAUNTON ROAD EAST AND WILSON  
 ROAD NORTH  
 ELEVATION - 158.014m



**GENERAL NOTES**

- A ROAD OCCUPANCY PERMIT WILL BE REQUIRED FOR ANY WORKS WITHIN THE REGIONAL RIGHT OF WAY.
- ALL WORKS OR RESTORATION WITHIN THE REGIONAL RIGHT OF WAY SHALL BE COMPLETED AS PER REGION OF DURHAM FIELD STAFF DIRECTION.
- ALL SERVICING TO TAUNTON ROAD ALLOWANCE SHALL BE COMPLETED BY OWNER BY AN EXECUTED REGION SERVICING AGREEMENT.
- THE LOCATION AND ELEVATION OF ALL EXISTING UTILITIES AND SERVICES TO BE VERIFIED BY THE CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. CONCERNED UTILITIES TO BE GIVEN ADVANCED NOTICE FOR STAKE OUT. THE CONSULTANT ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF THE UTILITIES SHOWN ON THE DRAWINGS.
- QUANTITIES, DIMENSIONS AND ELEVATIONS TO BE VERIFIED BY THE CONTRACTOR PRIOR TO ORDERING MATERIALS OR COMMENCING CONSTRUCTION.
- ALL SANITARY SEWER AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
  - 150mm SANITARY SEWER SERVICE PIPE SHALL BE CL DR28 PVC PIPE, CL 'P' BEDDING
  - SANITARY MANHOLE AS PER OPSD 701.010 C/W LOCKABLE COVER AS PER OPSD 401.060
  - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS
- ALL WATER MAINS AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM STANDARDS AND THE ONTARIO PLUMBING CODE.
  - 200mm FIRELINE AND 100mm DOMESTIC WATER CONNECTIONS SHALL BE DR18 PVC PIPE, CLASS 'P' BEDDING AS PER REGION OF DURHAM STANDARDS
  - ALL WATER MAINS SHALL BE CONSTRUCTED A MINIMUM OF 1.80m BELOW FINISHED GRADE
  - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS
- ALL STORM SEWERS AND APPURTENANCES SHALL COMPLY WITH THE REGION OF DURHAM AND THE ONTARIO PLUMBING CODE.
  - STORM SEWER PIPE 450mm AND SMALLER SHALL BE DR35 PVC PIPE, CL 'P' BEDDING
  - STORM SEWER CATCHBASIN MANHOLES SHALL BE AS PER OPSD 701.010
  - MANHOLE GRATES SHALL BE AS PER OPSD 401.010
  - OIL/GRIIT SEPARATOR SHALL BE STORMCEPTOR MODEL STC750 OR APPROVED EQUIVALENT
  - STORM SEWER CATCHBASINS AS PER OPSD 705.010
  - CATCHBASIN GRATES SHALL BE AS PER OPSD 400.020
  - ALL TRENCHES SHALL BE BACKFILLED AND COMPACTED IN ACCORDANCE WITH REGION OF DURHAM STANDARDS
  - 150mm ROOF WATER LEADERS TO BE DR 28 PVC, CL 'P' BEDDING
  - SOUTH INVERT OF CBMH 6 TO BE FITTED WITH A 300mm PVC PLUG COMPLETE WITH A 155mm ORIFICE @ ELEVATION 157.45m
- GENERALLY, A MINIMUM OF 0.25m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR STORM AND SANITARY SEWERS. A MINIMUM OF 0.50m SHALL BE PROVIDED BETWEEN THE OUTSIDE OF PIPE BARRELS AT THE POINT OF CROSSING FOR ALL SEWERS CROSSING WATER MAINS.
- RESTORATION NOTES:
  - CURB AND GUTTER WITHIN TAUNTON ROAD EAST SHALL BE RESTORED AS PER OPSD 800.011 OR TO MATCH EXISTING
  - SIDEWALK SHALL BE INSTALLED AS PER OS-301
- TAUNTON ROAD EAST TO BE RESTORED WITH THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER:
  - STAGE 1 WORKS:
    - 600mm GRANULAR 'B' (OR TO MATCH EXISTING)
    - 150mm GRANULAR 'A' (OR TO MATCH EXISTING)
    - 100mm HLB BINDER ASPHALT (2 LIFTS OF 50mm) (OR TO MATCH EXISTING)
  - STAGE 2 WORKS:
    - 40mm OF BINDER ASPHALT TO BE GROUND AND REMOVED AND REPLACED WITH
    - 40mm OF HLB SURFACE ASPHALT (OR TO MATCH EXISTING)
- ALL ROOF LEADERS TO BE CONNECTED TO THE PRIVATE STORM SEWER SYSTEM
- INSIDE ASPHALT SHALL CONSIST OF THE FOLLOWING UNLESS OTHERWISE APPROVED BY THE ENGINEER:
  - HEAVY DUTY (FIRE ROUTE/DRIVEWAYS):
    - 300mm GRANULAR 'B' OR 50mm CRUSHER RUN LESTONE
    - 150mm GRANULAR 'A' OR 20mm CRUSHER RUN LESTONE
    - 75mm HLB BINDER ASPHALT
    - 40mm HLB SURFACE ASPHALT
  - LIGHT DUTY (CAR PARKING AREAS):
    - 200mm GRANULAR 'B' OR 50mm CRUSHER RUN LESTONE
    - 150mm GRANULAR 'A' OR 20mm CRUSHER RUN LESTONE
    - 50mm HLB SURFACE ASPHALT
- FOUNDATION DRAIN CONNECTION DETAIL SHOWN ON DRAWING SS-2 (SITE SERVICING SECTIONS AND DETAILS)

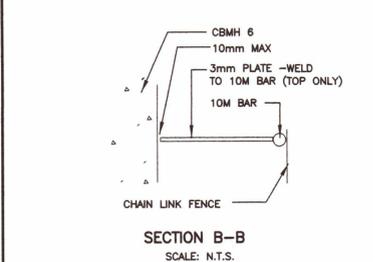
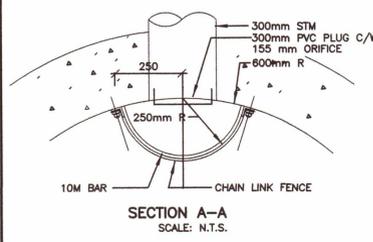
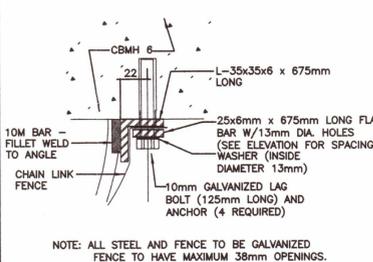
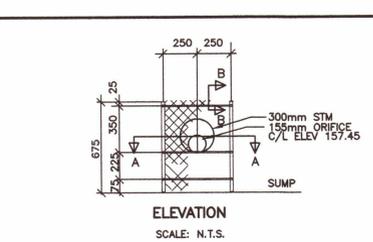
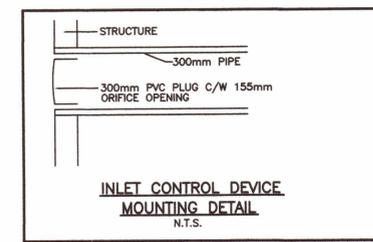
**LEGEND**

0.32 AREA IN HECTARES  
 0.90 RUNOFF CO-EFFICIENT

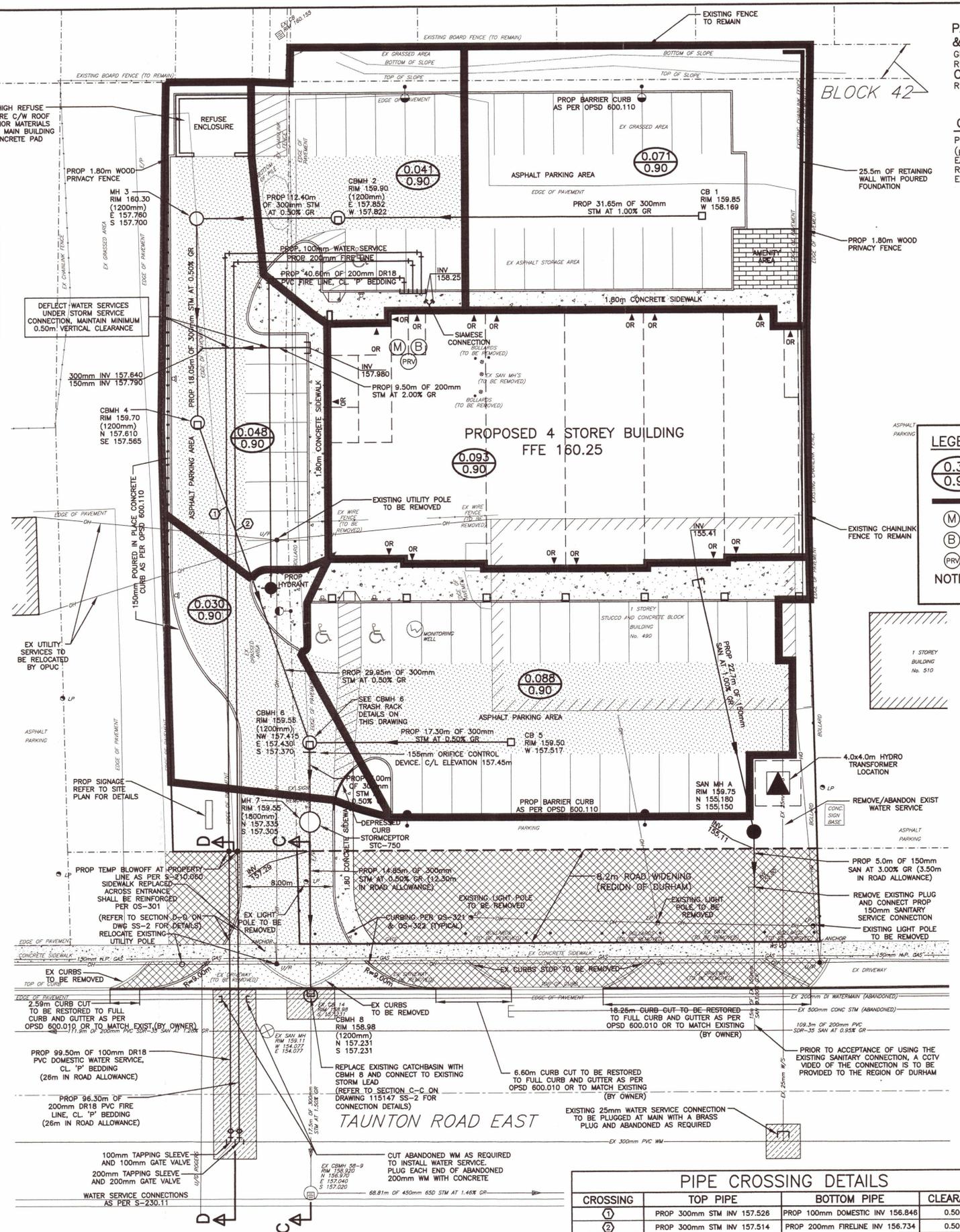
— DRAINAGE BOUNDARY

(M) WATER METER  
 (B) BACKFLOW PREVENTER  
 (PRV) PRESSURE REDUCING VALVE

NOTE: THIS PLAN IS FOR STORM DRAINAGE AREAS ONLY



CBMH 6 TRASH RACK DETAILS  
 SCALE AS SHOWN



**PIPE CROSSING DETAILS**

CROSSING	TOP PIPE	BOTTOM PIPE	CLEARANCE
①	PROP 300mm STM INV 157.526	PROP 100mm DOMESTIC INV 156.846	0.50m
②	PROP 300mm STM INV 157.514	PROP 200mm FIRELINE INV 156.734	0.50m

BUILDING PERMIT #  
 201602195  
 CITY OF OSHTAWA

Approved  
 Approval of the Regional Works Dept. for the purposes described in the applicable Regional Subdivision or Servicing Agreement. The Region is relying on the technical skill and ability of the P.Eng. sealing and signing this drawing.

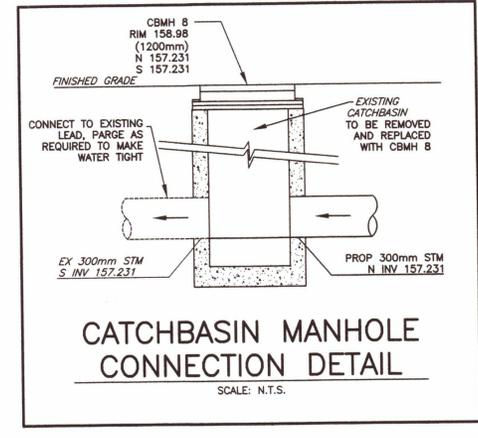
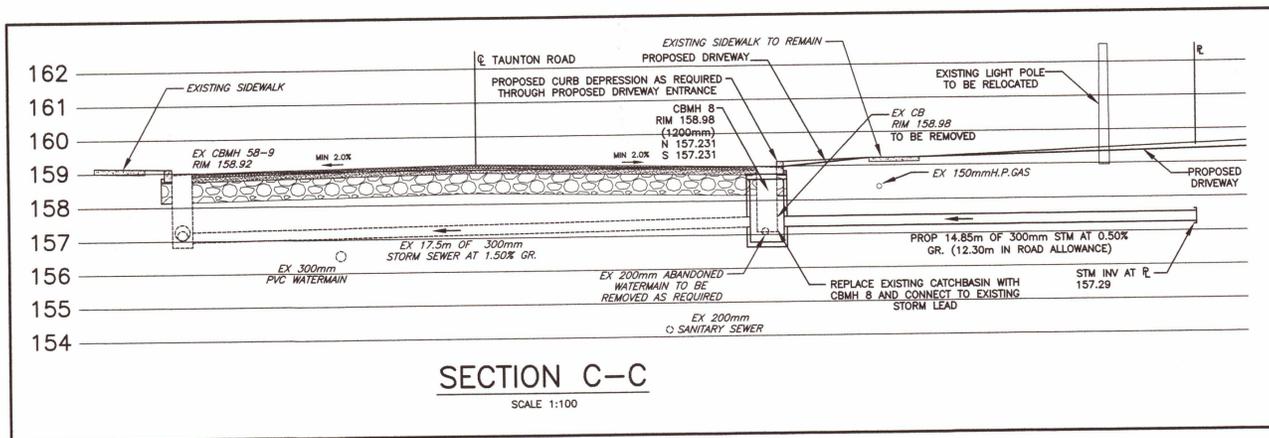


SCALE:	1:200	PROJECT NO.	115147
DRAWN BY:	G.P.W./D.P.T.	DRAWING NO.	
DESIGN BY:	D.P.T.		
CHECKED BY:	J.A.I.		
DATE:	OCT 2015		

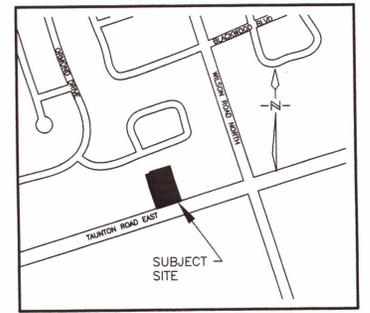
**NOT TO SCALE**

THIS APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:  
 1. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF PLANNING AND OTHER UNDERGROUND SERVICES, RESULTING FROM INSTALLATION OF ANY PROPOSED STORM SEWER CONNECTION.  
 2. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF ANY GRADING OR STORM DRAINAGE SYSTEM SHALL INCLUDE THIS APPROVAL AND REQUIRE SUBMISSION OF REVISED PLAN FOR APPROVAL AND REQUIRE SUBMISSION OF REVISED PLAN FOR APPROVAL.  
 3. THE OWNER MUST OBTAIN CITY OF OSHTAWA APPROVAL FOR THE LOCATION OF ANY PROPOSED UTILITIES OR SERVICES WITHIN ANY RIGHT OF WAY.  
 4. THE OWNER MUST OBTAIN THE APPROVAL OF THE UTILITY AUTHORITY FOR ANY PROPOSED UTILITY EXTENSION OR SERVICE CONNECTION.

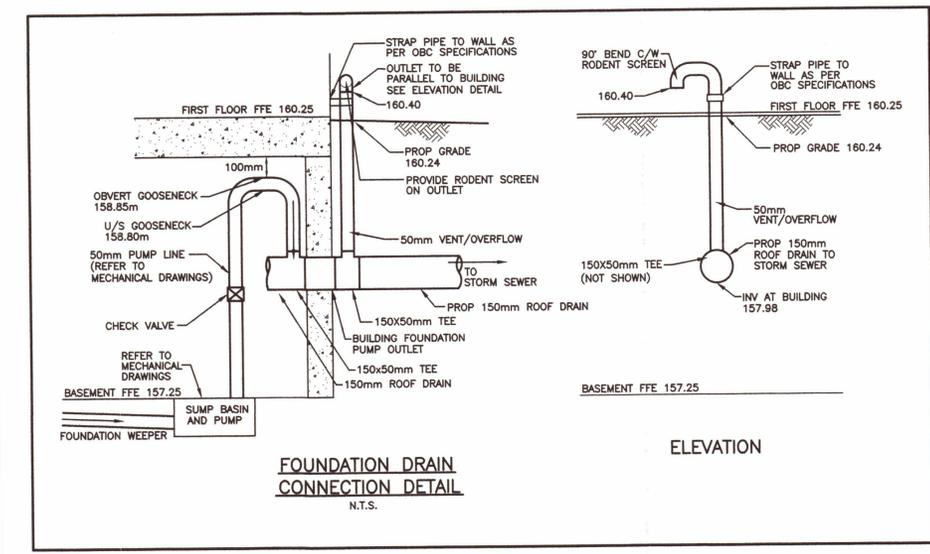
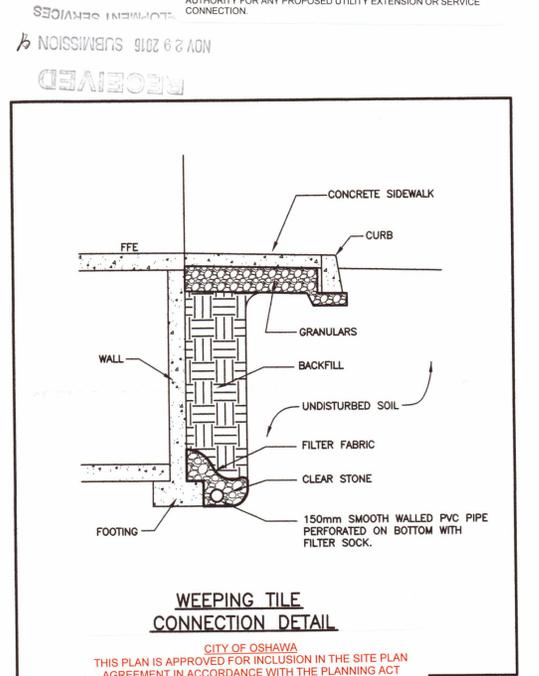
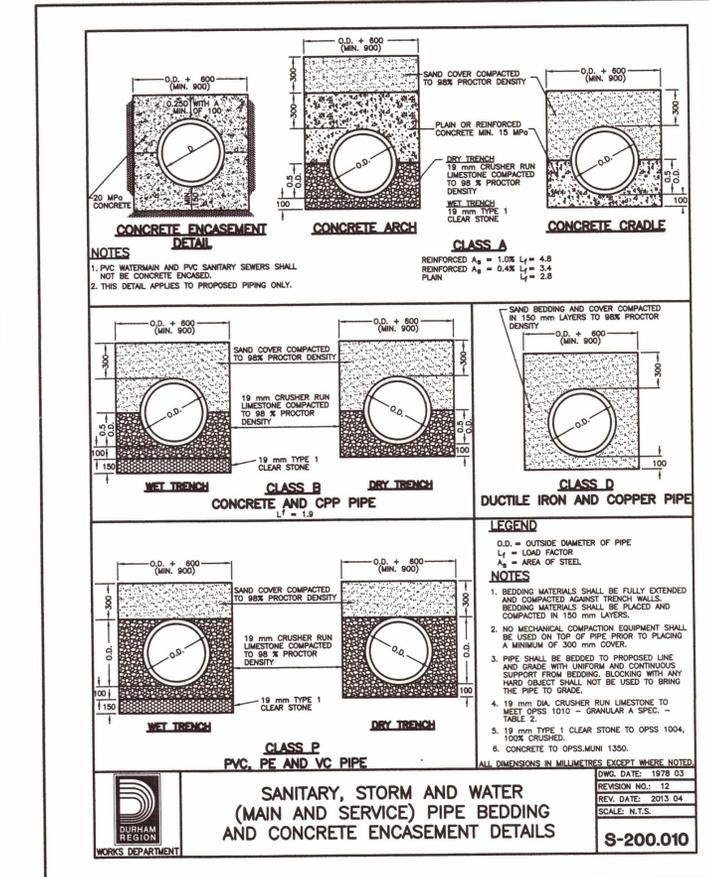
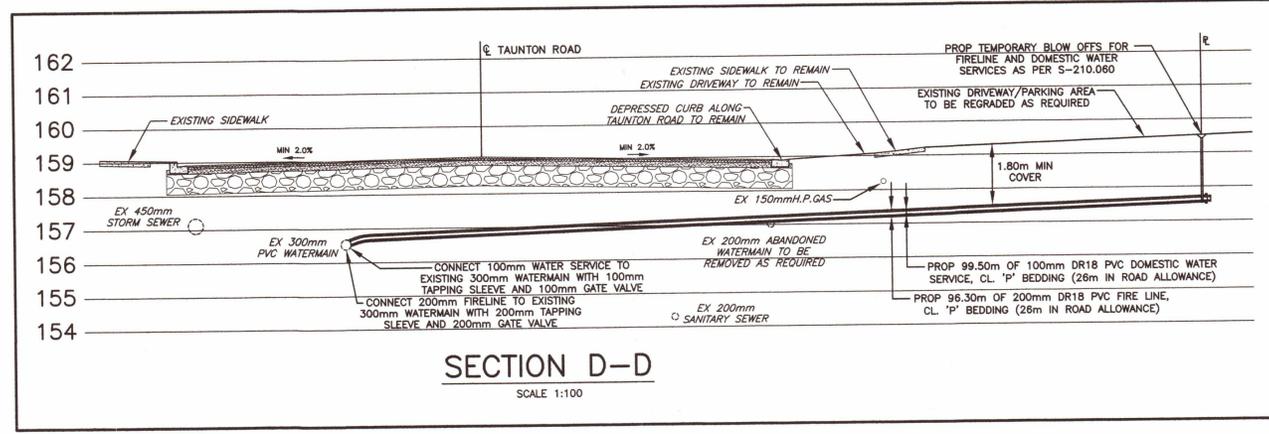
FILE NO. 15/11/2015  
 15/11/2015



PART OF LOT 7, CONCESSION 4 & ALL OF BLOCK 41  
GEOGRAPHIC TOWNSHIP OF EAST WHITBY  
REGISTERED PLAN 40M-2334  
CITY OF OSHAWA  
REGIONAL MUNICIPALITY OF DURHAM  
**OSHAWA BENCHMARK No. 270**  
PLAQUE TO TOP FOUNDATION OF PETRO-CAN BUILDING (#523 TAUNTON ROAD EAST) 0.80m SOUTH OF NORTH EAST CORNER OF TAUNTON ROAD EAST AND WILSON ROAD NORTH  
ELEVATION - 158.014m



- THIS APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE OWNER SHALL BE RESPONSIBLE FOR THE COST OF RELOCATING, RESTORING AND REPAIRING ANY UTILITIES AND OTHER UNDERGROUND SERVICES, RESULTING FROM INSTALLATION OF ANY PROPOSED STORM SEWER CONNECTION.
  2. ANY DEVIATION FROM THE APPROVED PLAN WITH RESPECT TO GRADING OR STORM DRAINAGE SYSTEM SHALL NULLIFY THIS APPROVAL AND REQUIRE SUBMISSION OF REVISED PLAN FOR APPROVAL.
  3. THE OWNER MUST OBTAIN CITY OF OSHAWA APPROVAL FOR THE LOCATION OF ANY PROPOSED UTILITIES OR SERVICES WITHIN ANY CITY ROAD ALLOWANCE.
  4. THE OWNER MUST OBTAIN THE APPROVAL OF THE UTILITY AUTHORITY FOR ANY PROPOSED UTILITY EXTENSION OR SERVICE CONNECTION.



CITY OF OSHAWA  
THIS PLAN IS APPROVED FOR INCLUSION IN THE SITE PLAN AGREEMENT IN ACCORDANCE WITH THE PLANNING ACT

PLAN 9 OF 13 DATE January 31, 2017  
PLANNING SERVICES  
ENGINEERING SERVICES  
PLANNING FILE REF SPA-2016-03  
ENGINEERING FILE REF R-918-01

NO.	DATE	REVISION	BY
4	11/15/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
3	08/31/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
2	06/07/2016	RE-ISSUED FOR SITE PLAN APPROVAL	
1	01/08/2016	ISSUED FOR SITE PLAN APPROVAL	

490 TAUNTON ROAD EAST, OSHAWA (SPA-2016-03)  
**SITE SERVICING SECTIONS AND DETAILS**

**D.G. Biddle & Associates Limited**  
consulting engineers and planners  
98 KING STREET EAST • OSHAWA, ON L1H 1B6  
PHONE (905) 576-8500 • FAX (905) 576-9730  
info@dgbiddle.com

	SCALE: 1:200 DRAWN BY: D.P.T. DESIGN BY: D.P.T. CHECKED BY: J.A.I. DATE: OCT 2015	PROJECT NO. 115147 DRAWING NO. SS-2
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BUILDING PERMIT #  
201602195  
CITY OF OSHAWA

Approved  
Approval of the Regional Works Dept. for the purposes described in the applicable Regional Subdivision or Servicing Agreement. The Region is relying on the technical skill and ability of the P.Eng. sealing and signing this drawing.  
BY: \_\_\_\_\_  
DATE: \_\_\_\_\_

**NOT TO SCALE**